



before



after

Contractor shall exercise the responsibility with architect in securing latest approved dwgs. prior to actually executing work.

NO./REVISION/DATE
SCHEME "A" 3-22-21

JOHN A. SALAT ARCHITECTS  
22386 Woodgrove Road, Lake Forest, CA 92630  
PH 949-235-4847 email: freewings@earthlink.net  
zenarchitect.com

architect

SALAT RESIDENCE  
REMODEL/ADDITION  
cover page

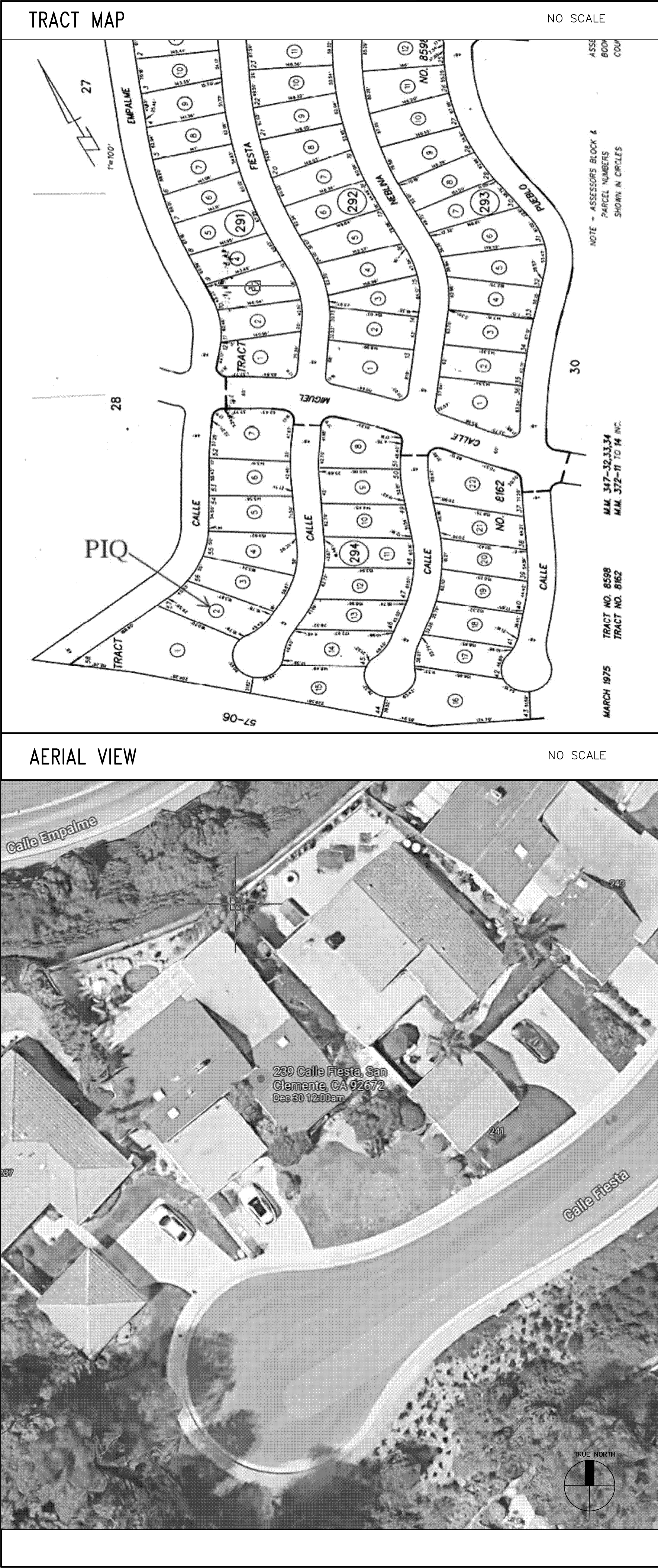
OWNER/SITE ADDRESS:  
CONTACT: John & Paula Salat  
239 Calle Fiesta  
San Clemente, CA 92672  
PH 949.235.4847 email: freewings@earthlink.net

DRAWN  
5  
CHECKED  
5  
DATE  
SEE REVISION BOX ABOVE FOR DATE  
SCALE  
AS NOTED ON PLANS  
JOB NO.  
SHEET

CVR

1 OF 102 SHEETS





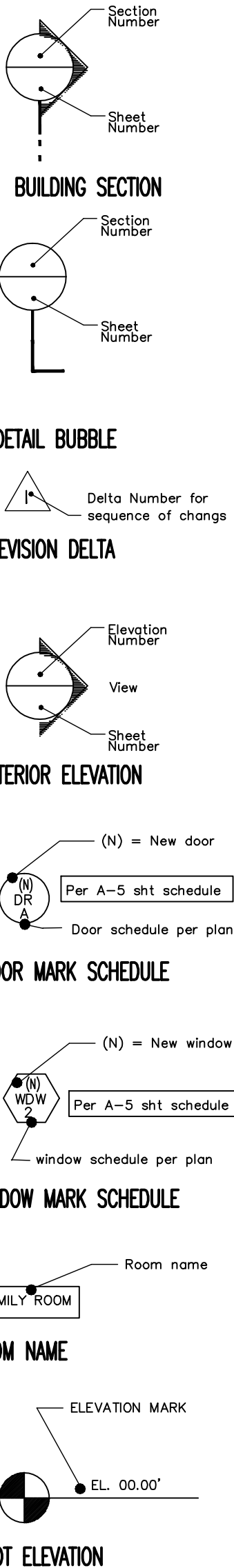
GENERAL BID/CONSTRUCTION NOTES

- THESE NOTES APPLY TO ALL DRAWINGS, UNLESS NOTED OTHERWISE. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE DRAWINGS AND/OR GENERAL NOTES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK. SO IN WRITING, ALL NOTIFICATIONS SHALL BE IN WRITING USING RFI NUMBERING W/ DATE FOR CHRONOLOGICAL REFERENCING. ALL CHANGE ORDERS TO BE CROSS REFERENCED FROM RFI FOR ACCURATE LOG SHEET
- ALL DIMENSIONS AND THE SITE CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE JOB SITE PRIOR TO ANY WORK EXECUTION AND FABRICATION OF MATERIALS TO REPORT AND NOTIFY TO THE ARCHITECT FOR SUCH CLARIFICATION IN WRITING. IF DISCREPANCIES ARE ENCOUNTERED, OR CONDITIONS DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS, ALL DIMENSIONS AND THE SITE CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE JOB SITE PRIOR TO WORK BY COMMUNICATING TO THE ARCHITECT SUCH FINDINGS DURING THE COURSE OF WORK. ACTUAL FIELD DIMENSION/CONDITIONS SHALL HAVE PRECEDENCE FROM PRINTED DIMENSIONS ON THESE DRAWINGS. REPORT TO ARCHITECT ANY DISCREPANCIES THAT INTERFERES WITH NEW WORK. DO NOT SCALE DRAWINGS. PRINTED DIMENSIONS HAVE PRECEDENCE OVER SCALED DRAWINGS AND LARGE SCALE OVER SMALL.
- NOTIFY ARCHITECT AND INSPECTORS 48 HOURS PRIOR TO COVER-UPS BY CONCRETE OR WITH FINISHES FOR OBSERVATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY & PROTECTION IN AND AROUND JOB SITE & OR ADJACENT PROPERTIES. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS TO BE REMOVED, RELOCATED OR REMAIN INTACT AND HOW THE NEW CONSTRUCTION RELATES TO THE SITE CONDITION. THE CONTRACTOR SHALL EXAMINE THE JOB SITE, CONFIRM ALL UTILITY LOCATIONS, SIZES, PRESSURES, ETC.. AND PROTECT, RELOCATE, CONNECT OR REMOVE ALL NECESSARY FOR TOTAL PROJECT COMPLETION. VERIFY ALL DIMENSIONS AND SATISFY HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGATED TO OPERATE. NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL INSTALLATIONS THROUGH UTILIZING ARCHITECT'S DRAWINGS AS INSTRUMENTS FOR INSTRUCTION, NOT THE PRODUCT ITSELF AS THE DRAWINGS DO NOT REPRESENT THE METHOD OF CONSTRUCTION. CONTRACTOR IS TO SUPERVISE AND DIRECT THE WORK UNDER HIS CONTRACT AND IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE AND SAFETY OF WORKMEN DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO, BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF FIELD SAFETY, ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS AND ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY INCLUDING TIME SCHEDULES AND TRADE SEQUENCE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR STRUCTURAL ENGINEER FIELD REPRESENTATIVE, NEITHER BE CONSIDERED AS INSPECTION NOR APPROVAL AS NOT AS INSPECTION AND DOES NOT IN ANY WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES. UNLESS NOTED OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT AND/OR HIS CONSULTANTS ARE NOT TO INCLUDE INSPECTIONS OF REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR HIS CONSULTANTS DURING CONSTRUCTION ARE TO BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR HIS CONSULTANTS, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING GENERAL CONFORMANCE WITH DESIGN CONCEPT AND CONTRACT DRAWINGS AND SPECIFICATIONS AND THEREFORE, THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BUILDING BACKING SLEEVES, FRAMING FOR LIGHT FIXTURES, ELECTRICAL LIGHTS, A/C EQUIPMENT, DRAPERY, CEILING TRACKS, PLUMBING EQUIPMENT, COUNTERS, HANDRAILS, AND ALL OTHER ITEMS REQUIRING BACKING SUPPORT
- THE ARCHITECT SHALL BE ENTITLED TO RELY UPON THE PROFESSIONAL CAPABILITY OF THE CONTRACTOR (AND HIS SUB-CONTRACTORS) FROM OWNERS' SELECTION TO ASSURE ALL IN FIELD IS HANDLED IN PROFESSIONAL MANNER. THE ARCHITECT WILL BE INSTRUMENTAL IN CLARIFYING DRAWING INTERPRETATIONS AND OTHER INQUIRIES DURING BID & CONSTRUCTION IN A TIMELY MANNER AS IS THE GENERAL CONTRACTOR TO FIELD VERIFY AND REPORT ANY DISCREPANCIES ON FIELD NOT ADDRESSED ON PLANS. ANYONE SUPPLYING LABOR AND MATERIALS TO THE PROJECT IS TO CAREFULLY EXAMINE ALL PORTIONS TO RECEIVE WORK. ANY CONDITIONS DETRIMENTAL TO WORK TO BE REPORTED IN WRITING TO ARCHITECT PRIOR TO BEGINNING WORK. NOTIFY THE ARCHITECT IF ANY CONDITIONS EXIST WHICH WILL PREVENT THE COMPLETION OF WORK IN A PROFESSIONAL AND SATISFACTORY MANNER AS WELL AS ANY AND ALL ADDITIONAL WORK TO BE PERFORMED BEFORE STARTING WORK. COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF SUBSURFACES WITH OWNER, ARCHITECT AND DEVELOPER FOR ENTIRE PROJECT SITE.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE CONTENTS OF ALL THE DRAWING AND ITEMS NOTED INSIDE THE INDEX OF BOX OF THIS SHEET. ALL DRAWINGS AND SPECIFICATIONS ARE CONSIDERED TO BE PART OF THE CONTRACT DOCUMENTS. IF CLARIFICATION IS REQUIRED THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. REGARDLESS OF THEIR LICENSE CLASSIFICATION. NO REQUEST FOR CHANGE ORDER WILL BE CONSIDERED BASE UPON INFORMATION FOUND IN ONE AREA OF THE PLANS OR SPECIFICATIONS, AND NOT THE OTHER. INFORMATION FOUND IN ONE PART OF THE PLANS SHALL BE DEEMED TO BE IN ALL SECTIONS.

BUILDING DEPARTMENT NOTES

- ALL NEW CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE (CBC); CMC 2019 CALIFORNIA MECHANICAL CODE, CPC 2019 CALIFORNIA PLUMBING CODE; 2019 ENERGY CODE (T-24), CEC: 2019 CALIFORNIA ELECTRICAL CODE AND 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS TO BE REMOVED, RELOCATED OR REMAIN INTACT AND HOW THE NEW CONSTRUCTION RELATES TO THE SITE CONDITION. ALL CONSTRUCTION AND INSTALLATION SHALL COMPLY WITH THE LATEST CONDITIONS (STATE/COUNTY/CITY) OF CODES AND ORDINANCES INCLUDING CAL OSHA AND FIRE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CODE COMPLIANCE OF WORK OF EVERY TRADE.
- "THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL, PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED FROM CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM."
- CONTRACTOR TO EITHER PROVIDE A PORTABLE TOILET AND HAND WASH STATION PER OSHA REGULATIONS OR SECURE IN ADVANCE WITH OWNER TO USE THERE EXISTING INDOOR ONSITE REST ROOM INSIDE THE HOUSE.
- HOUSE ADDRESS NUMBER SHALL BE MOUNTED ON HOUSE & SHALL BE VISIBLE AND LEGIBLE FROM THE STREET IN A CONTRAST COLOR 4" TALL MINIMUM
- DEFERRED SUBMITTALS AND SHOP DRAWINGS GENERATED BY VENDORS WILL BE REQUIRED TO BE SECURED/PERMITTED W/ CITY PRIOR TO FABRICATION AND INSTALL IF APPLICABLE TO THIS PROJECT
- ALL DIMENSIONS AND THE SITE CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE JOB SITE PRIOR TO WORK. THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION. ACTUAL FIELD DIMENSION/CONDITIONS SHALL HAVE PRECEDENCE FROM PRINTED DIMENSIONS ON THESE DRAWINGS. REPORT TO ARCHITECT ANY DISCREPANCIES THAT INTERFERES WITH NEW RETROFIT WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS AND SEQUENCE OF WORK THROUGH UTILIZING ARCHITECT'S DRAWINGS AS INSTRUMENTS FOR INSTRUCTION, NOT THE PRODUCT ITSELF. THE ARCHITECT WILL BE INSTRUMENTAL IN CLARIFYING DRAWING INTERPRETATIONS AND OTHER INQUIRIES DURING BID & CONSTRUCTION IN A TIMELY MANNER. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF FIELD SAFETY, ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS AND ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY INCLUDING TIME SCHEDULES AND TRADE SEQUENCE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

STD SYMBOLS



ABBREVIATIONS

AB	ANCHOR BOLT	INT	INTERIOR
AC	ASPHALTIC CONCRETE	L	LONG (LENGTH)
ADJ	ADJUSTABLE	LAM	LAMINATE(D)
AFF	ABOVE FINISH FLOOR	LAV	LAVATORY
AL	ALUMINUM	LT	LIGHT
ANOD	ANODIZED	MAS	MASONRY
AP	ACCESS PANEL	MAX	MAXIMUM
ARCH	ARCHITECT	MB	MACHINE BOLT
BD	BOARD	MECH	MECHANICAL
BEL	BELOW	MED	MEDIUM
BET	BETWEEN	MET	METAL
BLDG	BUILDING	MFR	MANUFACTURE(ER)
BLK(G)	BLOCK(ING)	MIN	MINIMUM
BM	BEAM	MISC	MISCELLANEOUS
B	BOTTOM	MO	MASONRY OPENING
BRG	BEARING	MTL	MATERIAL(S)
BS	BOTH SIDES	NAT	NATURAL
BUL	BULLETIN	(N)	NEW
BUR	BUILT UP ROOFING	NIC	NOT IN CONTRACT
CB	CATCH BASIN	NOM	NOMINAL
CEM	CEMENT	NORTH	NORTH
CI	CAST IRON	NTS	NOT TO SCALE
CJ	CEILING JOIST	ON	ON CENTER(S)
CLG	CEILING	OD	OUTSIDE DIAMETER
CLR	CLEARANCE	OPNG	OPENING
COL	COLUMN	OPP	OPPOSITE
CONC	CONCRETE	PLUS	PLASTER, PLASTIC
CONST	CONSTRUCTION	PLWDD	PLYWOOD
CONT	CONTINUOUS	PSF	POUNDS PER SF
CONTR	CONTRACT(OR)	PSI	POUNDS PER SI
D	DEEP (DEPTH)	PVC	POLYVINYL CHLORIDE
DIAG	DIAGONAL	R	RADI
DIAM	DIAMETER	(R)	RADI
DM	DIMENSION	RAD	RADIUS
DN	DOWN	RD	ROOF DRAIN
DR	DOOR	REF	REFERENCE
DS	DOWNSPOUT	REFL	REFLECTED
DTL	DETAIL	REINF	REINFORCE(D)
E	EAST	REQ	REQUIRE(D)
EA	EACH	REV	REVISION(S)
EL	ELEVATION	RM	ROOM
ELEC	ELECTRIC(AL)	RO	ROUGH OPENING
EMER	EMERGENCY	S	SOUTH
EQ	EQUAL	SC	SOLID CORE
EX	EXHAUST	SEC	SECTION
(E)	EXISTING	SF	SQUARE FOOT
EXP	EXPOSED	SH	SHEET
EXT	EXTERIOR	SM	SIMILAR
FD	FLOOR DRAIN	SPEC	SPECIFICATION(S)
FAU	FORCED AIR UNIT	SO	SQUARE
FT	FINISH FLOOR	SY	SYMMETRY(CAL)
FIN	FINISHED	T	TREAD, TOP
FJ	FLOOR JOIST	TEL	TELEPHONE
FOC	FACE OF CONCRETE	(T)	TEMPERED
FLR	FLOOR(ING)	T&G	TONGUE AND GROVE
FV	FIELD VERIFY	THK	THICK(NESS)
FW	FACE OF MASONRY	TOP	TOP OF PARAPET
FOS	FACE OF STUDS	TOS	TOP OF SLAB
FTS	FOOTING	TS	TOP OF STEEL
GA	GAUGE	TW	TOP OF WALL
GI	GALVANIZED IRON	TYP	TYPICAL
GL	GLASS	UON	UNLESS OTHERWISE NOTED
GLB	GLUE LAMINATED BEAM	VCT	VINYL COMPOSITION TILE
GYP	GYPSON	VERT	VERTICAL
H	HIGH (HEIGHT)	VS	VERTICAL GRAIN
HB	HOSE BIBB	VN	VINYL
HC	HOLLOW CORE	W	WEST, WIDTH
HDR	HEADER	WC	WATER CLOSET
HDW	HARDWARE	WO	WOOD
HM	HOLLOW METAL	WR	WATER REPELLENT
HOR	HORIZONTAL	Ø	AT
HT	HEIGHT	O	OVER
ID	INSIDE DIAMETER	O	ROUND
INCL	INCLUDE(D)	W	WITH
		W/O	WITHOUT

CONSULTANTS

**ARCHITECTURAL**  
John A. Salat Architects <http://ZenArchitect.com>  
22386 Woodgrove Road  
Lake Forest, CA 92630  
Attn: John Salat E-mail: [freeingwinds@earthlink.net](mailto:freeingwinds@earthlink.net)  
Ph 949-235-4847

**ENGINEERING**

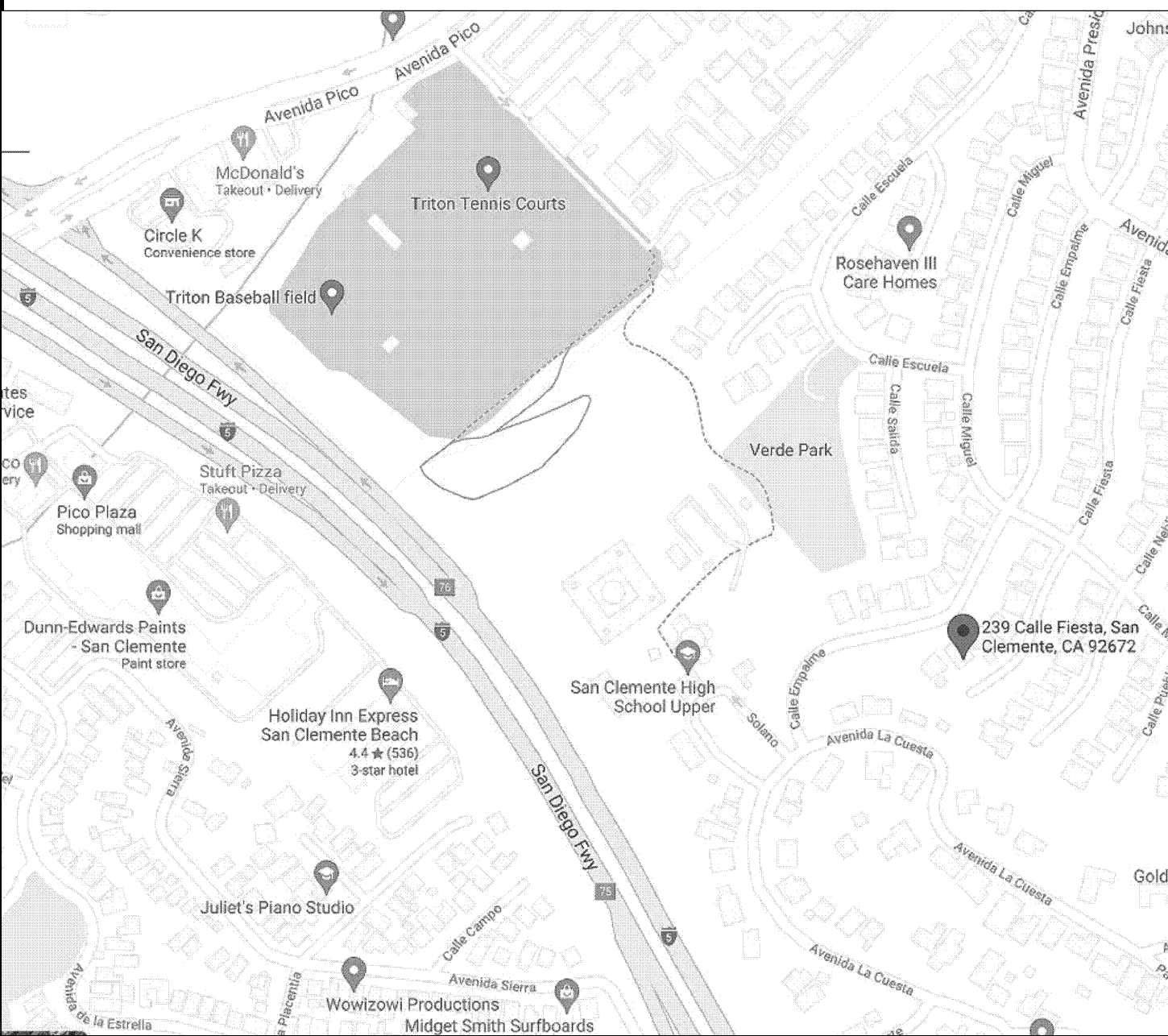
INDEX

NOTE: IF THIS SET IS NOT 24"x36" SIZE, IT IS NOT TO SCALE

**ARCHITECTURAL**  
A-1 COVER SHEET  
A-2 SITE PLAN & DEMO PLAN  
A-3 DEMO FLOOR PLAN  
A-4 PROPOSED FLOOR PLAN  
A-5 ROOF PLAN & EXTERIOR ELEVATIONS

**MECHANICAL, ELECTRICAL & PLUMBING**  
MEP-1 MECH, ELEC, PLUMBING PLANS  
MEP-2 GENERAL NOTES FOR MECH, ELEC, PLUMBING

VICINITY MAP



PROJECT DATA

<b>OWNER:</b> John & Paula Salat (OWNER/ARCHITECT) 239 Calle Fiesta San Clemente, CA 92672 email: <a href="mailto:freeingwinds@earthlink.net">freeingwinds@earthlink.net</a> Phone 949.235.4847		<b>PROPERTY ADDRESS</b> Address: 239 Calle Fiesta, San Clemente, CA 92672	
<b>SITE/BUILDING DATA:</b> LOT SIZE: 0.25 Acres (11,238 SF)		<b>LEGAL DESCRIPTION</b> PN 69029402, N TR 8162 BLK LOT 57 INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY CALIFORNIA	
PROPERTY ZONE: Single Family Property (1 UNIT) Zoned Low - Special Residential Overlay 14 (RL-SR14)		CONSTRUCTION TYPE: VB NON-SPRINKLERED	
OCCUPANCY: R-3/U1 SINGLE DETACHED FAMILY DWELLING		NUMBER OF FLOORS: 1 STORY WITH ATTACHED 2-CAR GARAGE	
BUILDING AREA SF#S		AREA CALCULATIONS ARE BASED ON PHYSICAL OBSERVATION -REFER TO 3RD PARTY ASSESSMENTS/APPRASALS REPORTS AS IN CONFLICT WITH COUNTY/CITY TO ARCHITECTS RECORDS	
EXISTING		REMOVED	
NEW		TOTAL	
REMODEL		PATIO COVER OR DECK	
GARAGE (ATTACHED)		EXISTING/ REMOVED	
DWELLING		TOTAL LIVING AREA:	
2,260		---	
00.0		---	
158.0		2,418.0	
340.0		---	

EXISTING/HISTORY

BRIEF INTRIO: Built originally in the year 1976 in a residential neighborhood known as Broadmoor neighborhood. Approximately 2,260 square feet, th existing home is located on a single-loaded cul-de-sac street with three bedrooms and two bathrooms all on a single-level. The existing garage is a two-car of 485 sf and also has an 375 sf rear covered patio. The home has a history been of being both renovated and modernized over its life span as was originally once a 4 bedroom but the prevouis owner removed the division wall between the two bedrooms.

SCOPE OF WORK

PROPOSED WORK: Work involves remodel /addition for portions to the existing residences at bathroom, bedrooms and kitchen as relocating a few walls to adjust for the new layout of expansion to entry hall and bedroom. Relocating laundry room from garage to inside dwelling and expanfning a wrok bench area of the garage.

Other than the retrofit to the expansion describe above, the remaining portions of the building will keep the integrity with the existing structure and HVAC systems with some light retrofit in the 3 rooms that re being altered,

SITE WORK

Site work includes flatwork and landscape at front yard portion only

Contractor shall exercise the responsibility with architect in securing latest approved drwgs. prior to executing any work

REVISIONS NO.  
SCHEME "A" 3-22-21

JOHN A. SALAT ARCHITECTS  
22386 Woodgrove Road, Lake Forest, CA 92630  
PH 949-235-4847 email: [freeingwinds@earthlink.net](mailto:freeingwinds@earthlink.net)  
[zenarchitect.com](http://zenarchitect.com)

architect

SALAT RESIDENCE  
REMODEL/ADDITION  
COVER PAGE

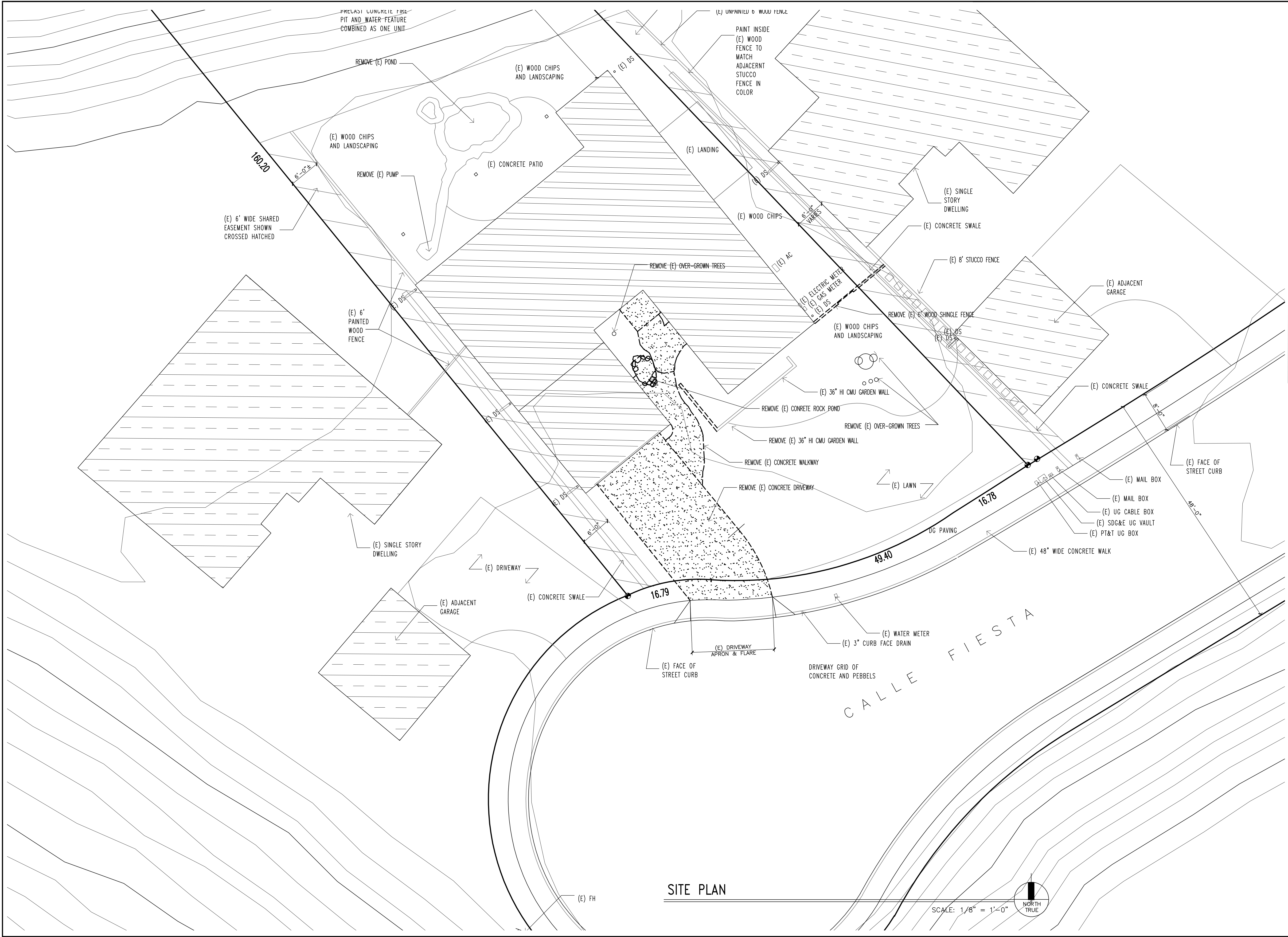
OWNER/SITE ADDRESS:  
CONTACT: John & Paula Salat  
239 Calle Fiesta  
San Clemente, CA 92672  
PH 949.235.4847 email: [freeingwinds@earthlink.net](mailto:freeingwinds@earthlink.net)



DRAWN  
5  
CHECKED  
5  
DATE  
SEE REVISION BOX ABOVE FOR DATE  
SCALE  
AS SHOWN ON PLANS  
JOB NO.  
SHEET

A-1





Contractor shall exercise the responsibility with architect in securing latest approved drawings, prior to actually executing work.

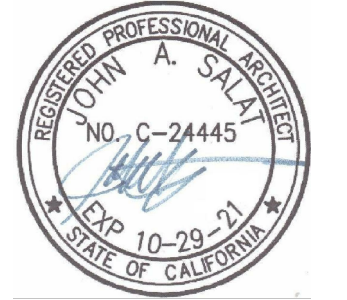
NO./REVISION/DATE  
SCHEME "A" 3-22-21

JOHN A. SALAT ARCHITECTS  
22386 Woodgrove Road, Lake Forest, CA 92630  
PH 949-235-4847 email: freeingwinds@earthlink.net  
zenarchitect.com

architect

SALAT RESIDENCE  
REMODEL/ADDITION  
DEMO SITE PLAN

OWNER/SITE ADDRESS:  
CONTACT: John & Paula Salat  
239 Calle Fiesta  
San Clemente, CA 92672  
PH 949.235.4847 email: freeingwinds@earthlink.net

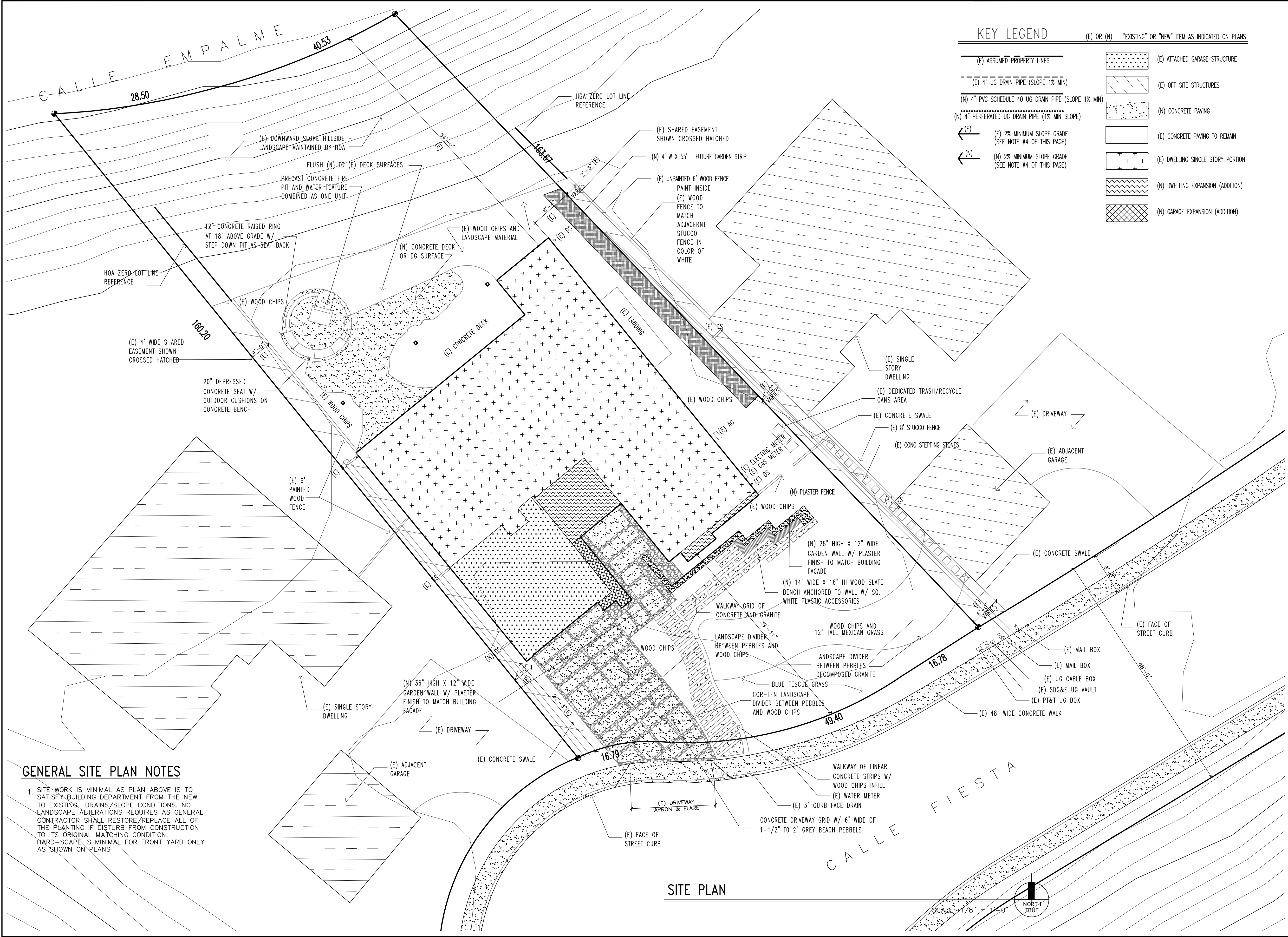





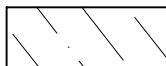
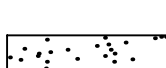
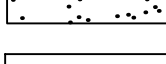
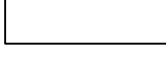

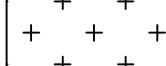

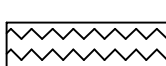
DRAWN  
5  
CHECKED  
5  
DATE  
SEE REVISION BOX ABOVE FOR DATE  
SCALE  
AS NOTED ON PLANS  
JOB NO.  
SHEET

A-2

1 OF 10 SHEETS





KEY LEGEND			(E) OR (N)	"EXISTING" OR "NEW" ITEM AS INDICATED ON PLANS
				(E) ATTACHED GARAGE STRUCTURE
				(E) OFF SITE STRUCTURES
(E) 4" UG DRAIN PIPE (SLOPE 1% MIN)				(N) CONCRETE PAVING
(N) 4" PVC SCHEDULE 40 UG DRAIN PIPE (SLOPE 1% MIN)				(E) CONCRETE PAVING TO REMAIN
(N) 4" PERFORATED UG DRAIN PIPE (1% MIN SLOPE)				(E) DWELLING SINGLE STORY PORTION
	(E) 2% MINIMUM SLOPE GRADE (SEE NOTE #4 OF THIS PAGE)			(N) DWELLING EXPANSION (ADDITION)
	(N) 2% MINIMUM SLOPE GRADE (SEE NOTE #4 OF THIS PAGE)			(N) GARAGE EXPANSION (ADDITION)

Contractor shall exercise the responsibility with architect in securing latest approved drawings prior to actually executing work.

NO./REVISION/DATE

SCHEME "A" 3-22-21

JOHN A. SALAT ARCHITECTS

22386 Woodgrove Road, Lake Forest, CA 92630

PH 949-235-4847 email: free@earthlink.net

zenarchitect.com

architect

OWNER/SITE ADDRESS:

CONTACT: John & Paula Salat

239 Calle Fiesta

San Clemente, CA 92672

PH 949-235-4847 email: free@earthlink.net

REGISTERED PROFESSIONAL ARCHITECT

NO. C-24445

EXP. 10-29-21

STATE OF CALIFORNIA

DRAWN

5

CHECKED

5

DATE

SEE REVISION BOX ABOVE FOR DATE

SCALE

AS NOTED ON PLANS

JOB NO.

SHEET

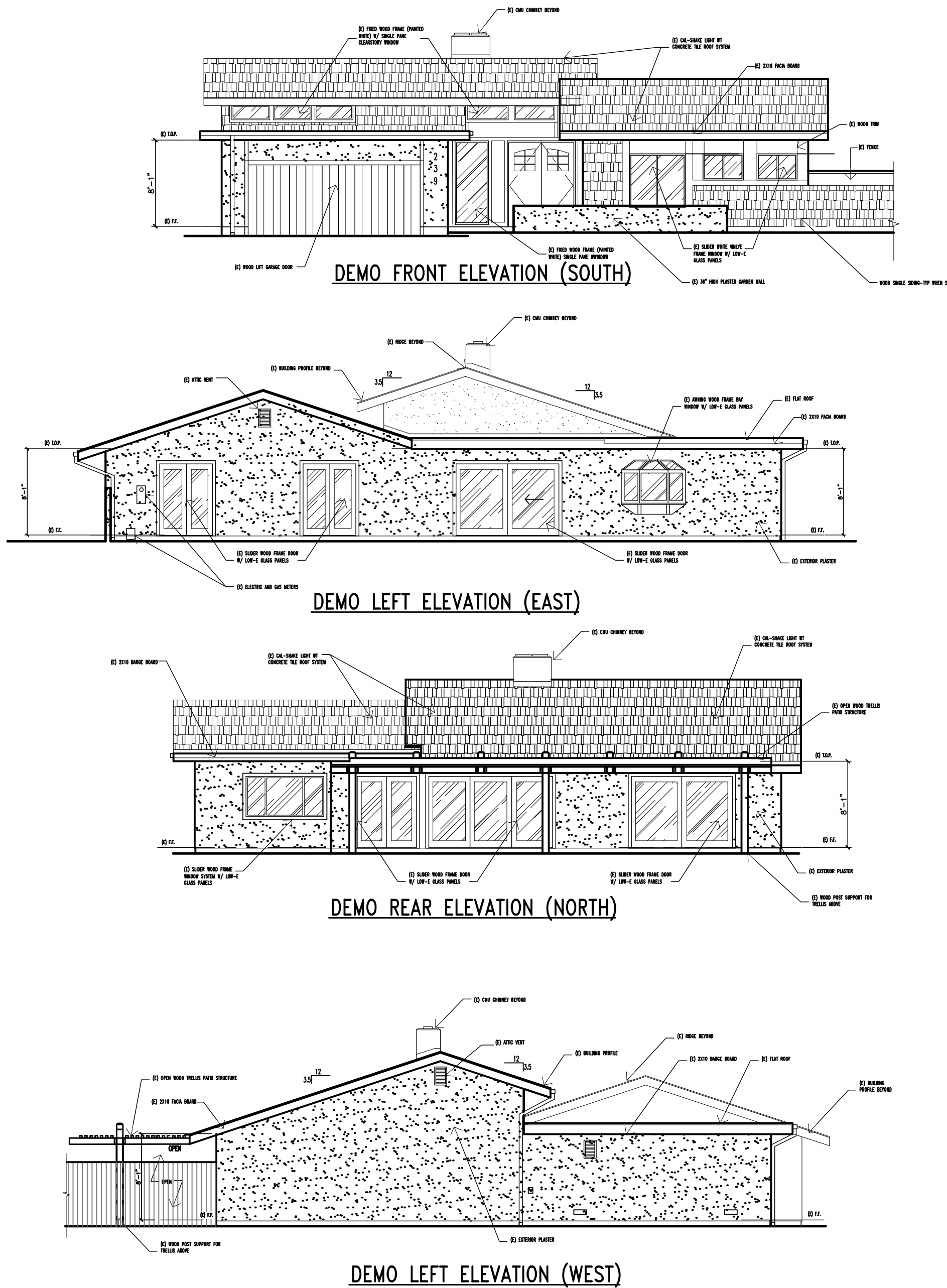
A-3

1 OF 10 SHEETS

GENERAL SITE PLAN NOTES

1. SITE WORK IS MINIMAL AS PLAN ABOVE IS TO SATISFY BUILDING DEPARTMENT FROM THE NEW TO EXISTING DRAINS/SLOPE CONDITIONS. NO LANDSCAPE ALTERATIONS REQUIRES AS GENERAL CONTRACTOR SHALL RESTORE/REPLACE ALL OF THE PLANTING IF DISTURB FROM CONSTRUCTION TO ITS ORIGINAL MATCHING CONDITION. HARD-SCAPE IS MINIMAL FOR FRONT YARD ONLY AS SHOWN ON PLANS





DEMO EXTERIOR ELEVATIONS

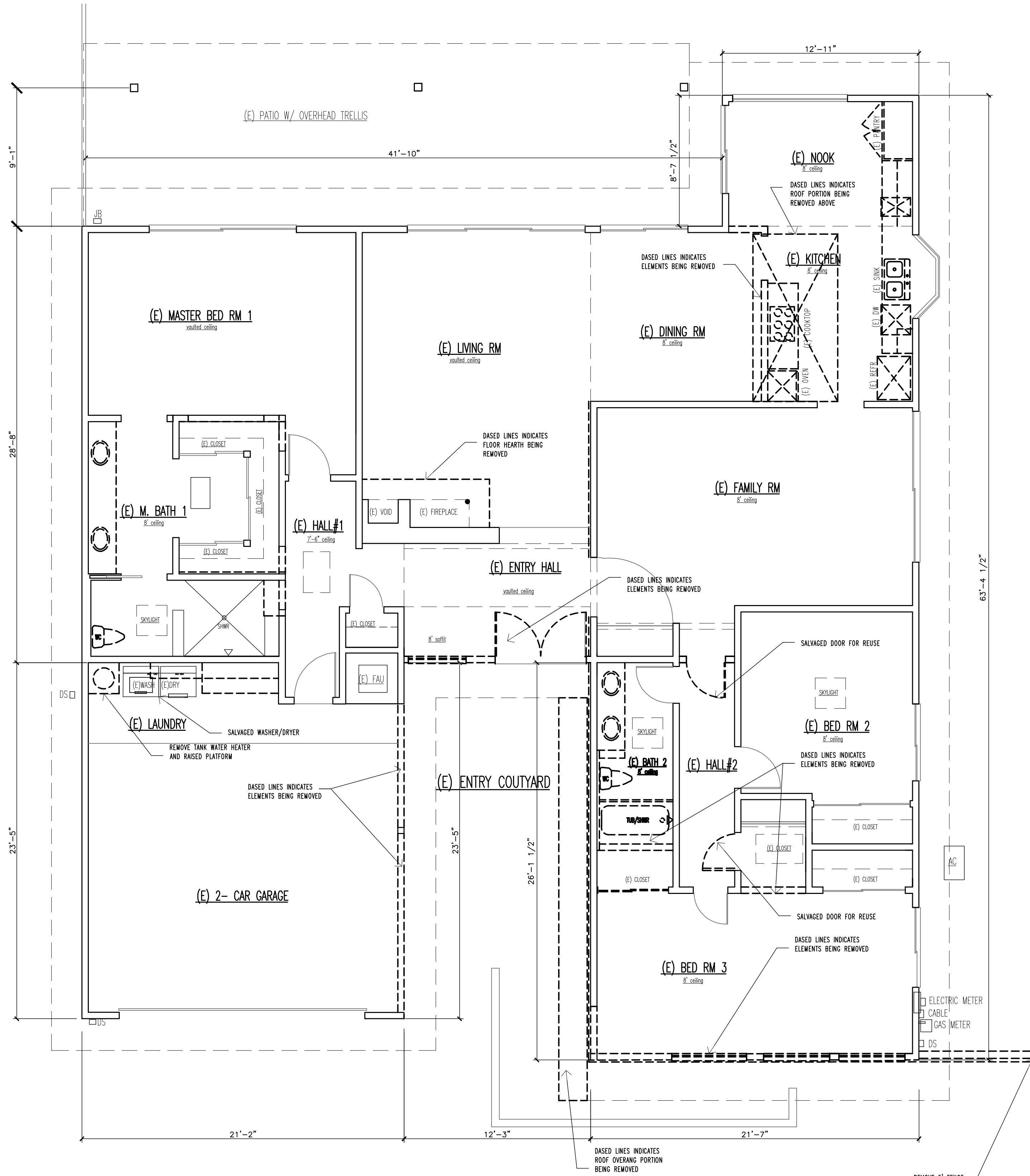
SCALE: 1/8" = 1'-0"

DEMO BUILDING NOTES

1. VERIFY W/ OWNER SALVAGED ITEMS (STORE & PROTECT)
2. REFER TO PROPOSED DRAWINGS FOR ADDITIONAL ITEMS THAT MAY IMPACT DEMOLITION NOT SHOWN IN THIS FLOOR PLAN
3. VERIFY LOCATION OF ELECTRICAL, PLUMBING AND MECHANICAL UTILITIES. LOCATE AND PROTECT UTILITIES TO REMAIN. DISCONNECT, REMOVE AND CAP DESIGNATED UTILITIES WITHIN THE DEMOLITION AREA
4. PROVIDE STRUCTURAL SHORING REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION AREA AND IF ENGINEERED, CEASE OPERATIONS AND NOTIFY ARCHITECT IMMEDIATELY. DO NOT RESUME OPERATIONS UNTIL CORRECTIVE MEASURES HAVE BEEN TAKEN
5. FIELD VERIFY IF CONCRETE FLOOR SLAB IS POST TENSIONED, PRETENSIONED OR STANDARD PRIOR TO CUTTING. FOLLOW INDUSTRY STANDARDS TO PROTECT SLAB REINFORCEMENT
6. FOR SITE DEMO WORK REQUIRED, SEE SITE DEMO PLAN

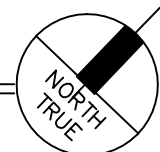
ARCHITECTURAL SYMBOLS

- EXISTING WALL TO DEMO
- EXISTING WALL TO BE REMOVED (PANEL WALLS SHOWN BY DASHED LINES)
- EXISTING CEILING AND TRIMMING TO BE REMOVED
- EXISTING CEILING AND TRIMMING TO BE REMOVED (PANEL WALLS SHOWN BY DASHED LINES)



DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



Contractor shall exercise the responsibility with architect in securing latest approved drawings prior to actually executing work.

NO./REVISION/DATE

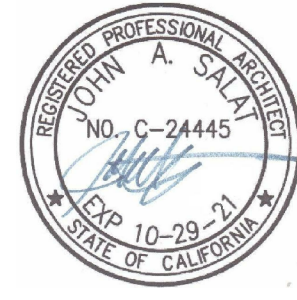
SCHEME "A" 3-22-21

JOHN A. SALAT ARCHITECTS  
22386 Woodgrove Road, Lake Forest, CA 92650  
PH 949-235-4647 email: freewind@earthlink.net  
zenarchitect.com

architect

SALAT RESIDENCE  
REMODEL/ADDITION  
DEMO FLOOR PLAN  
& DEMO ELEVATIONS

OWNER/SITE ADDRESS:  
CONTACT: John & Paula Salat  
239 Calle Fiesta  
San Clemente, CA 92672  
PH 949.235.4647 email: freewind@earthlink.net



DRAWN

CHECKED

DATE

SEE REVISION BOX ABOVE FOR MORE

SCALE

AS NOTED ON PLANS

JOB NO.

SHEET

A-4



## ARCHITECTURAL SYMBOLS

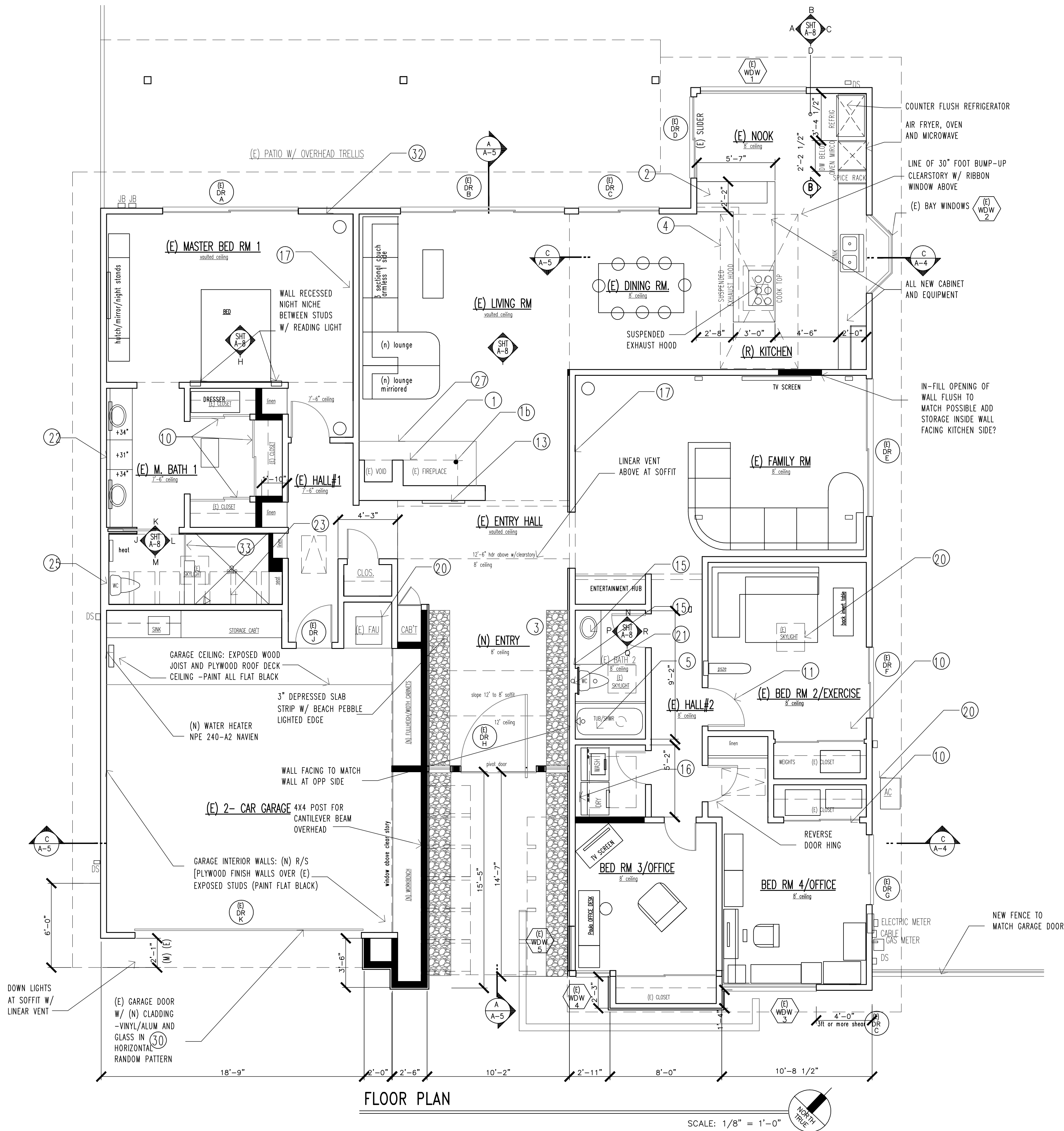
- (R)= REMODELED (N) = NEW (E) = EXISTING
- (N) 2X4 STUD WALLS @ 16" O.C. -SEE "S" SHIT
- (N) 2X6 STUD WALLS @ 16" O.C.
- (E) 2X6 STUD WALLS TO REMAIN
- (E) 2X4 STUD WALLS TO REMAIN
- (N) WINDOWS OR DOORS
- (E) WINDOWS AND DOORS

## TYPICAL PLAN NOTES

1. REFER TO DEMOLITION PLAN FOR (E) CONDITIONS OF ENTIRE STRUCTURE LAYOUT
2. REFER TO COVER SHEET FOR ADDITIONAL INFORMATION NOT SHOWN
3. SMOKE DETECTORS PER 2023 C.B.C., SEE COVER PAGE PER NOTE 5, 6 & 7 OF SHEET A-1 SECTION 16 ELECTRICAL
4. CONTRACTOR SHALL FIELD VERIFY BOTH HORIZONTAL AND VERTICAL DIMENSIONS TO ENSURE PROPER FIT FOR ALL DETAILS-REPORT TO THE ARCHITECT IMMEDIATELY TO SECURE INSTRUCTIONS SHOULD INFORMATION BE INCORRECTLY NOTED
5. ALL PAINT FINISHES AND TEXTURES PER OWNERS DIRECTIONS (PROVIDE 3/4" RADIUS CORNERS AT NEW GYP BOARD WALLS)
6. REFER TO MEP SHEET FOR ELECTRICAL, MECHANICAL AND PLUMBING HVAC AND FRAMING CONTRACTOR TO HAVE PRE-CONSTRUCTION MEETING FOR DUCT ROUTES AND POSSIBLE DROPPED FRAMED SOFFITS WHERE DUCT CHASE WAYS MAY NOT BE ACCESSIBLE TO REACH GRILLS FROM UNIT
7. VERIFY ALL ALL FLOOR AND CEILING FINISHES W/ OWNER PRIOR TO INSTALL- REFER TO DEMOLITION PLANS FOR ADDITIONAL ITEMS THAT MAY DISTURB EXISTING CONDITIONS THAT WILL REQUIRE REPAIR OR REPLACEMENT

## prelim study room size

- LF 11'-6" x 10' as office while SC 11x10'-6"
- LF 10'-8" x 11'-6" as sleeves rm while SC 10x10'-9"
- LF 10'-4" x 11'-6" as tv rm while SC 11x3'-12'-0"
- LF 13'-4" x 17'-6" as living rm while SC 15' x0'-19'-4"
- LF 13'-3" x 17'-9" as master bedrm while SC 12' x 17'-6"
- LF 13'-3" x 17'-9" as family SC 20'-9" x 13'-6"
- LF 11'-6" x 10'-6" as dining SC 11'-7" x 11'-6"
- LF 23" as kitchen counter/cablt length SC 32.5 W"



Contractor shall exercise the responsibility with architect in securing latest approved drawings prior to actually executing work

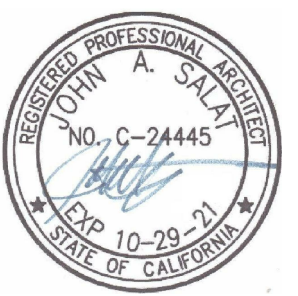
NO./REVISION/DATE  
SCHEME "A" 3-22-21

JOHN A. SALAT ARCHITECTS  
22366 Woodgrove Road, Lake Forest, CA 92630  
PH 949-235-4847 email: freeingwinds@earthlink.net  
zenarchitect.com

architect

SALAT RESIDENCE  
REMODEL/ADDITION  
FLOOR PLAN

OWNER/SITE ADDRESS:  
CONTACT: John & Paula Salat  
239 Calle Fiesta  
San Clemente, CA 92672  
PH 949-235-4847 email: freeingwinds@earthlink.net



DRAWN  
5  
CHECKED  
6  
DATE  
22 REVISION 10/10/2021 FOR PERM  
SCALE  
AS NOTED ON PLANS  
JOB NO.  
SHEET

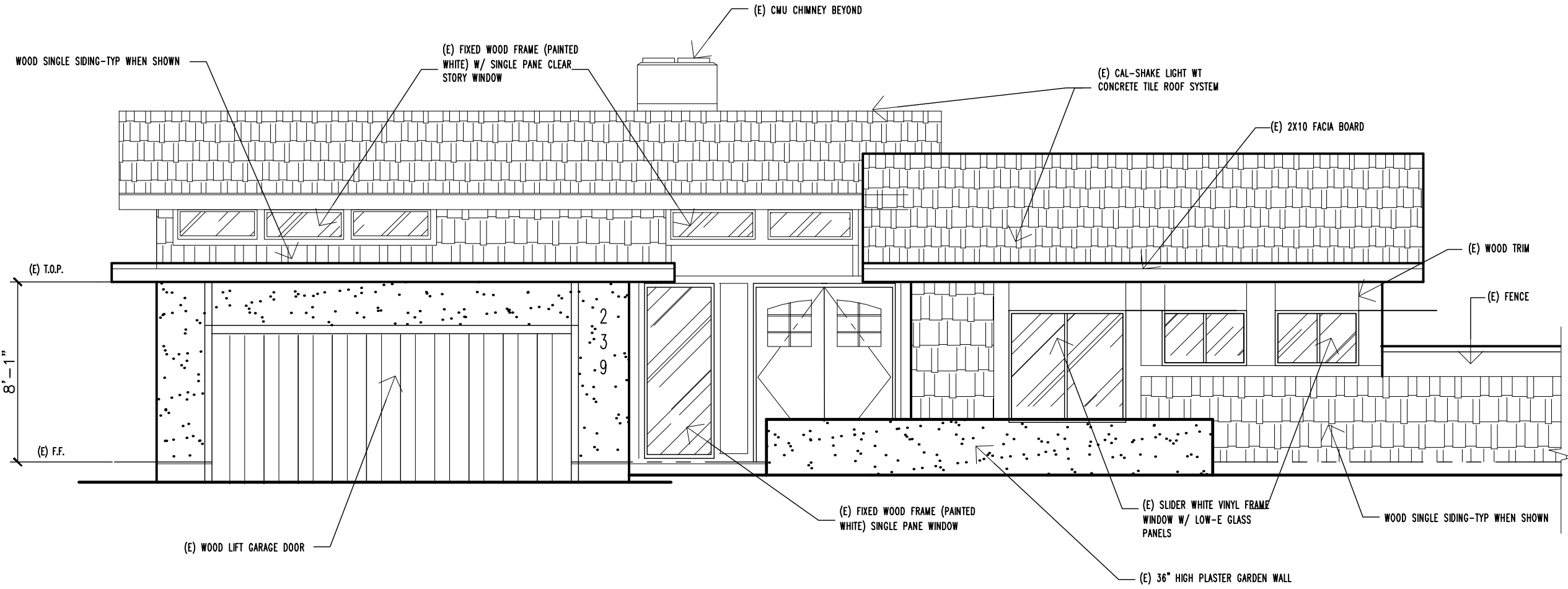
A-5

1 OF 10 SHEETS

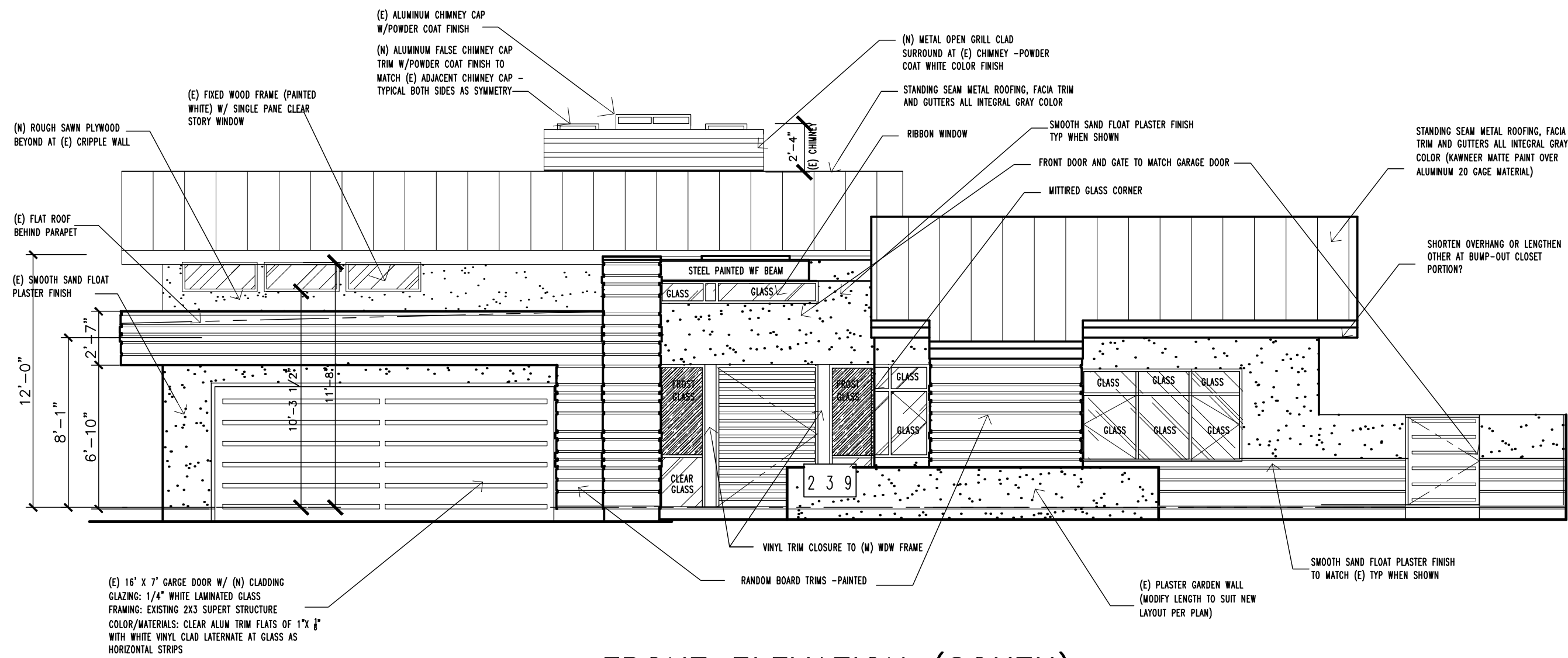




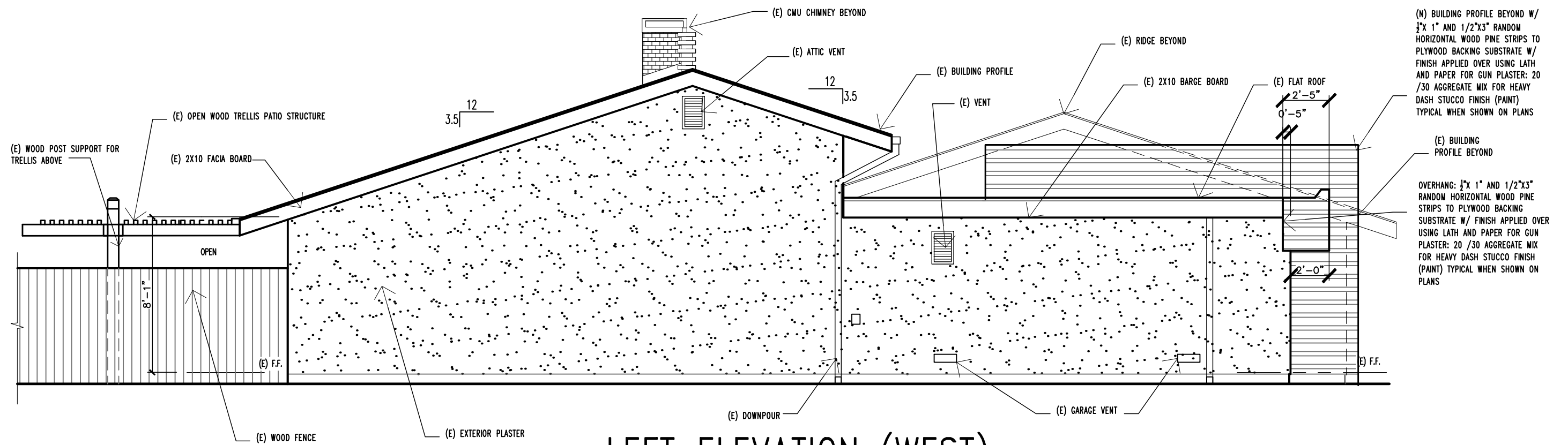




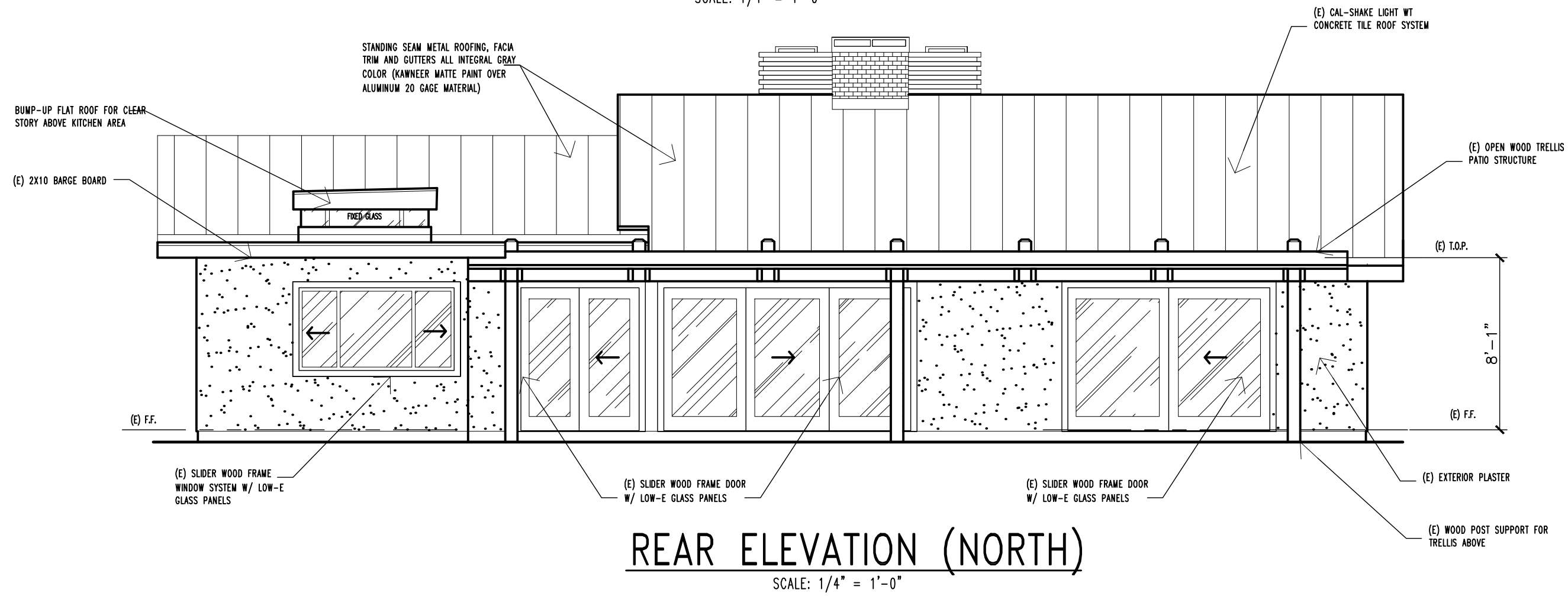
EXISTING FRONT ELEVATION (SOUTH)



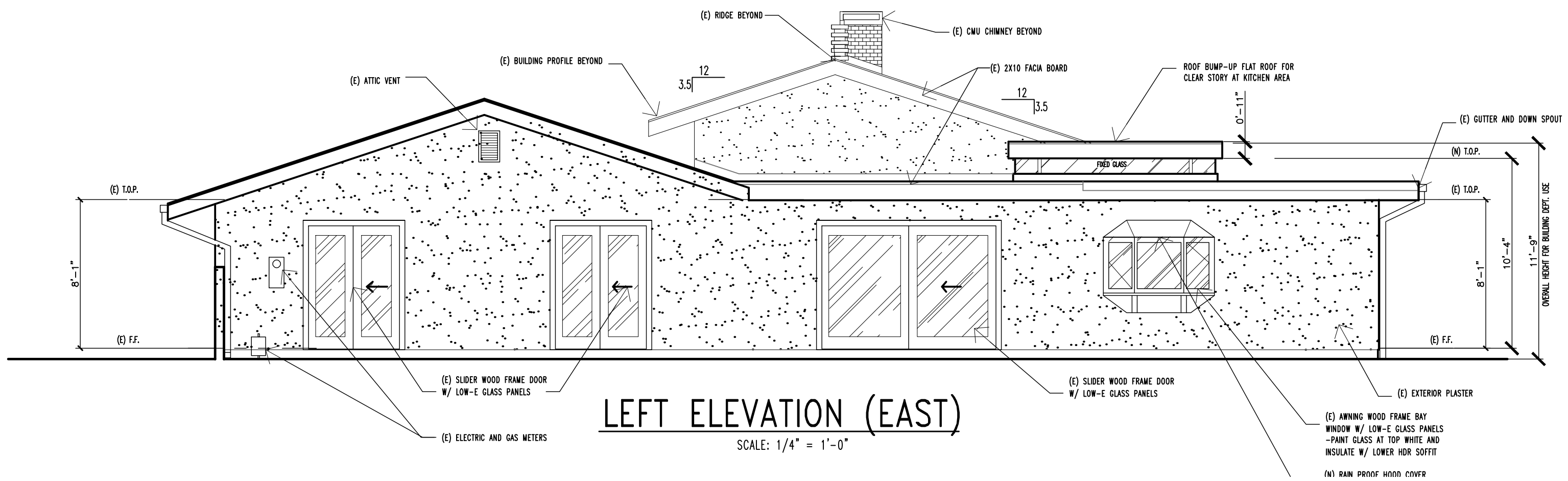
FRONT ELEVATION (SOUTH)



LEFT ELEVATION (WEST)



REAR ELEVATION (NORTH)



LEFT ELEVATION (EAST)

Contractor shall exercise the responsibility with architect in securing latest approved dwgs. prior to actually executing work.

NO./REVISION/DATE

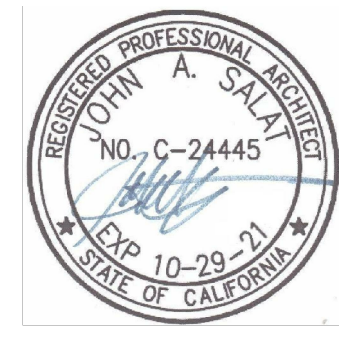
SCHEME "A" 3-22-21

JOHN A. SALAT ARCHITECTS  
22386 Woodgrove Road, Lake Forest, CA 92630  
PH 949-235-4647 email: freewings@earthlink.net  
zenarchitect.com

architect

SALAT RESIDENCE  
REMODEL/ADDITION  
EXTERIOR ELEVATIONS

OWNER/SITE ADDRESS:  
CONTACT: John & Paula Salat  
239 Calle Fiesta  
San Clemente, CA 92672  
PH 949.235.4647 email: freewings@earthlink.net



DRAWN  
5  
CHECKED  
5  
DATE  
SEE REVISION BOX ABOVE FOR DATE  
SCALE  
AS NOTED ON PLANS  
JOB NO.  
SHEET

A-6

1 OF 10 SHEETS

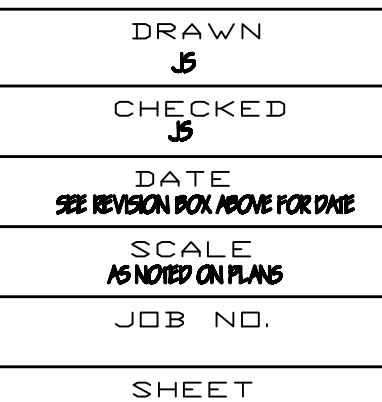


NO./REVISION/DATE

JOHN A. SALAT ARCHITECTS  
222386 Woodgrove Road, Lake Forest, CA 92650  
PH 949-235-4847 email: [freeingwinds@earthlink.net](mailto:freeingwinds@earthlink.net)  
[zenarchitect.com](http://zenarchitect.com)

**SALAT RESIDENCE  
REMODEL/ADDITION  
INTERIOR ELEVATIONS**

OWNER/SITE ADDRESS:  
CONTACT: John & Paula Salat  
239 Calle Fiesta  
San Clemente, CA 92672  
PH 949 235 4847 email: freemindwinds@earthlink.net

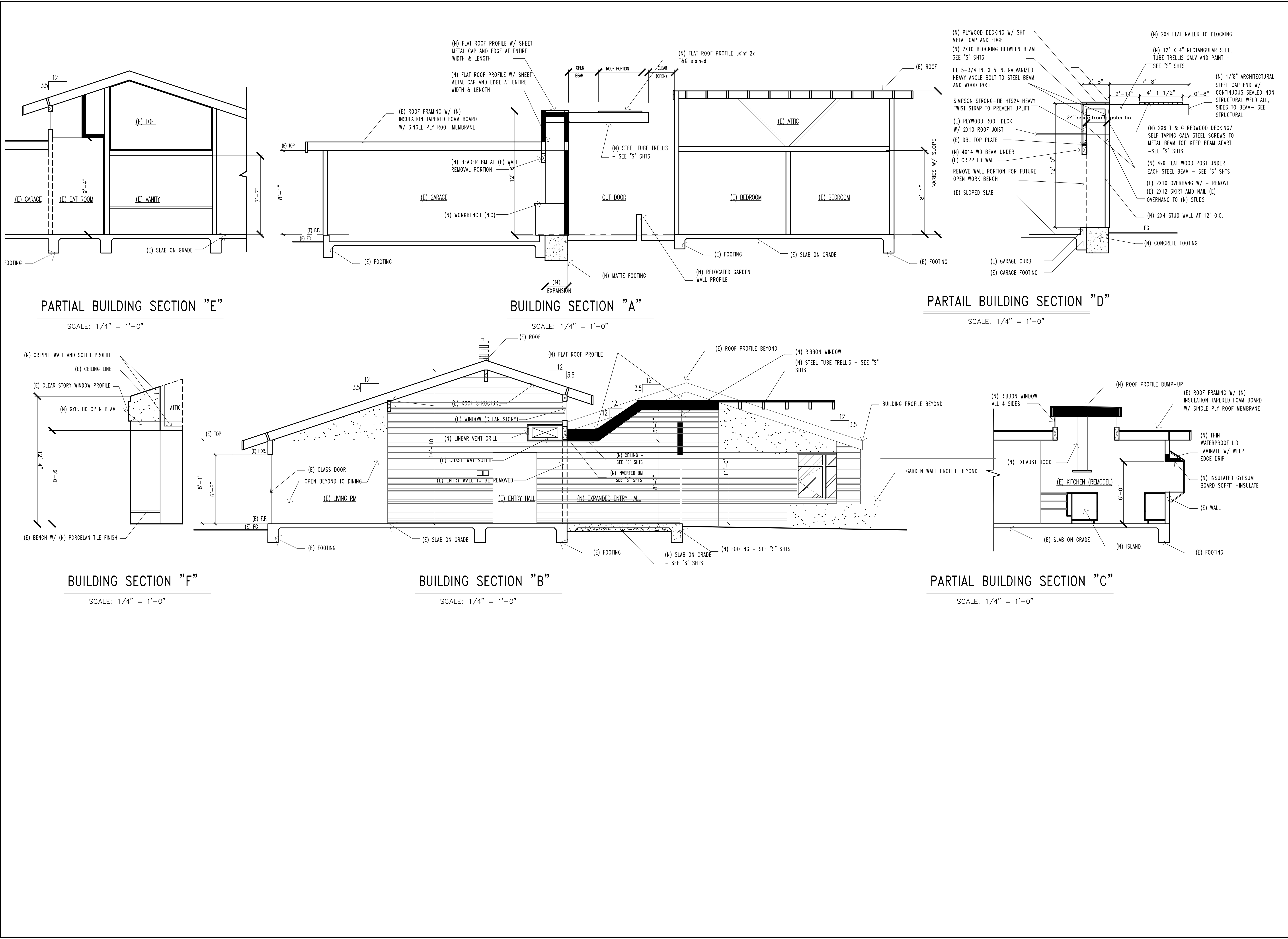


1 OF (REF TO INDEX) SHEETS



SCALE: 1/4" = 1'-0"





Contractor shall exercise the responsibility with architect in securing latest approved dwgs. prior to actually executing work.

ND./REVISION/DATE

SCHEME "A" 3-22-21

JOHN A. SALAT ARCHITECTS  
22386 Woodgrove Road, Lake Forest, CA 92630  
PH 949-235-4847 email: freengwinds@earthlink.net  
zenarchitect.com

architect

SALAT RESIDENCE  
REMODEL/ADDITION  
SECTIONS

OWNER/SITE ADDRESS:  
CONTACT: John & Paula Salat  
239 Calle Fiesta  
San Clemente, CA 92672  
PH 949-235-4847 email: freengwinds@earthlink.net

REGISTERED PROFESSIONAL ARCHITECT  
JOHN A. SALAT  
NO. C-24445  
EXP. 10-29-21  
STATE OF CALIFORNIA

DRAWN  
5

CHECKED  
5

DATE  
SEE REVISION BOX ABOVE FOR DATE

SCALE  
AS NOTED ON PLANS

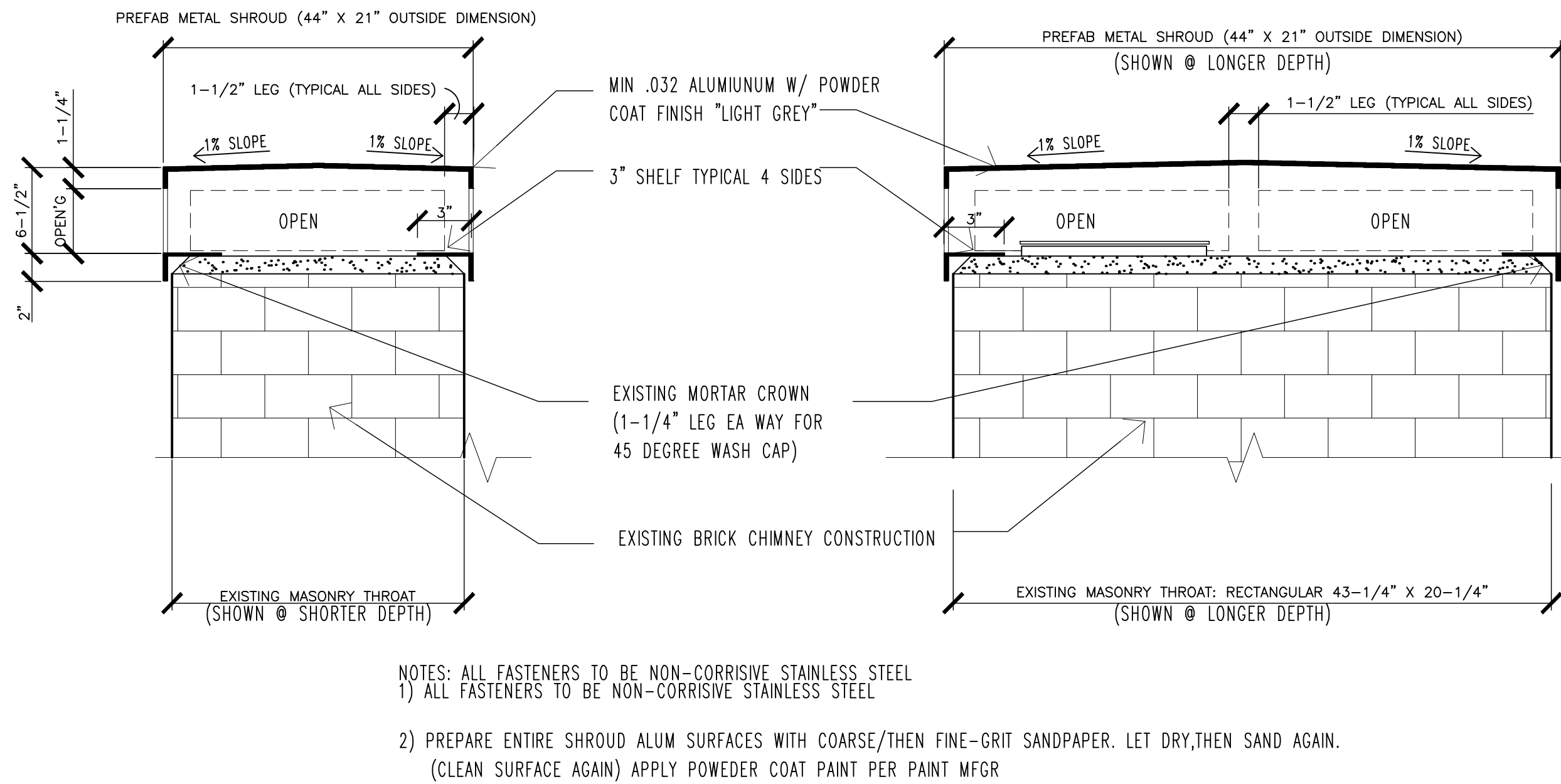
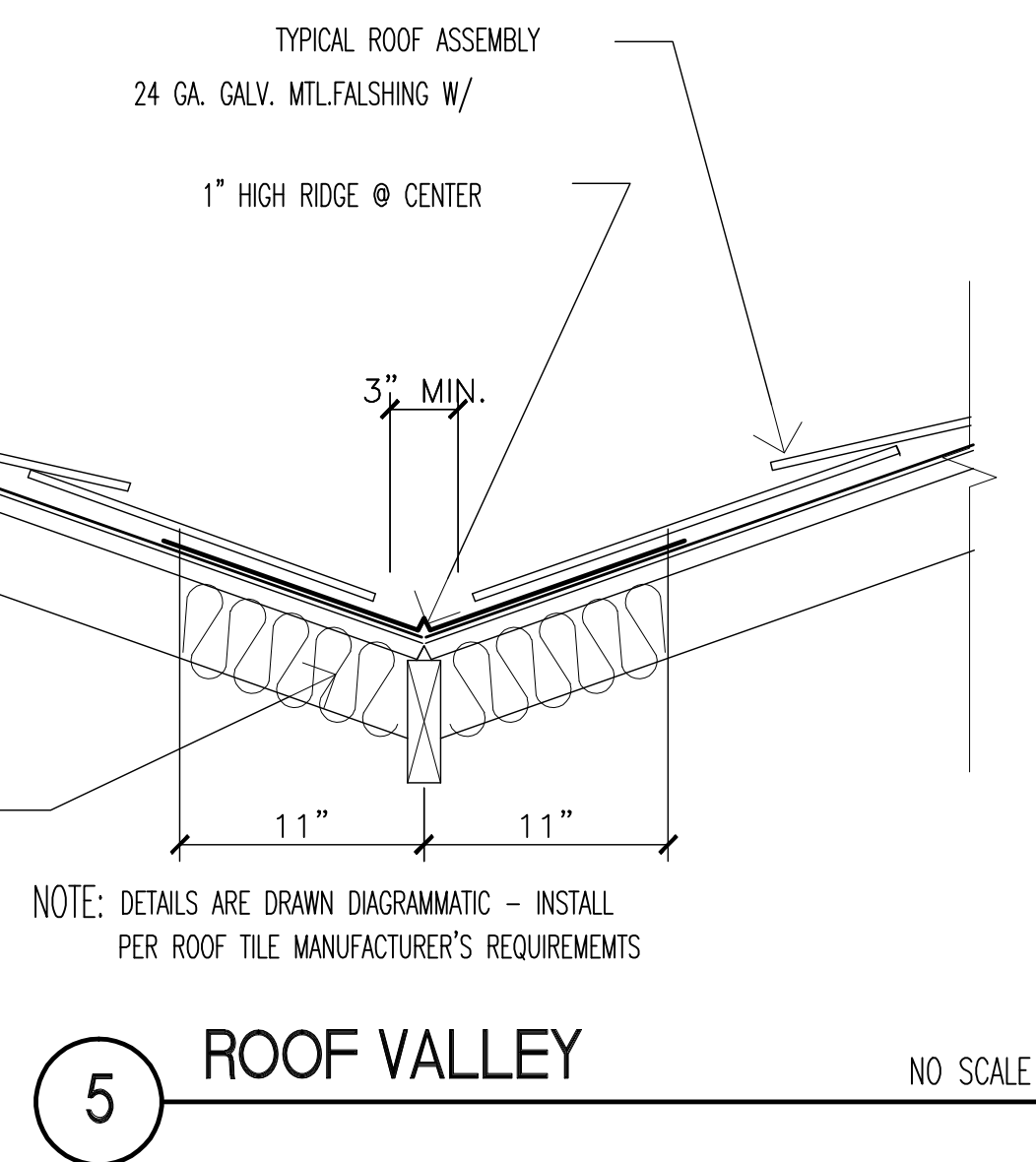
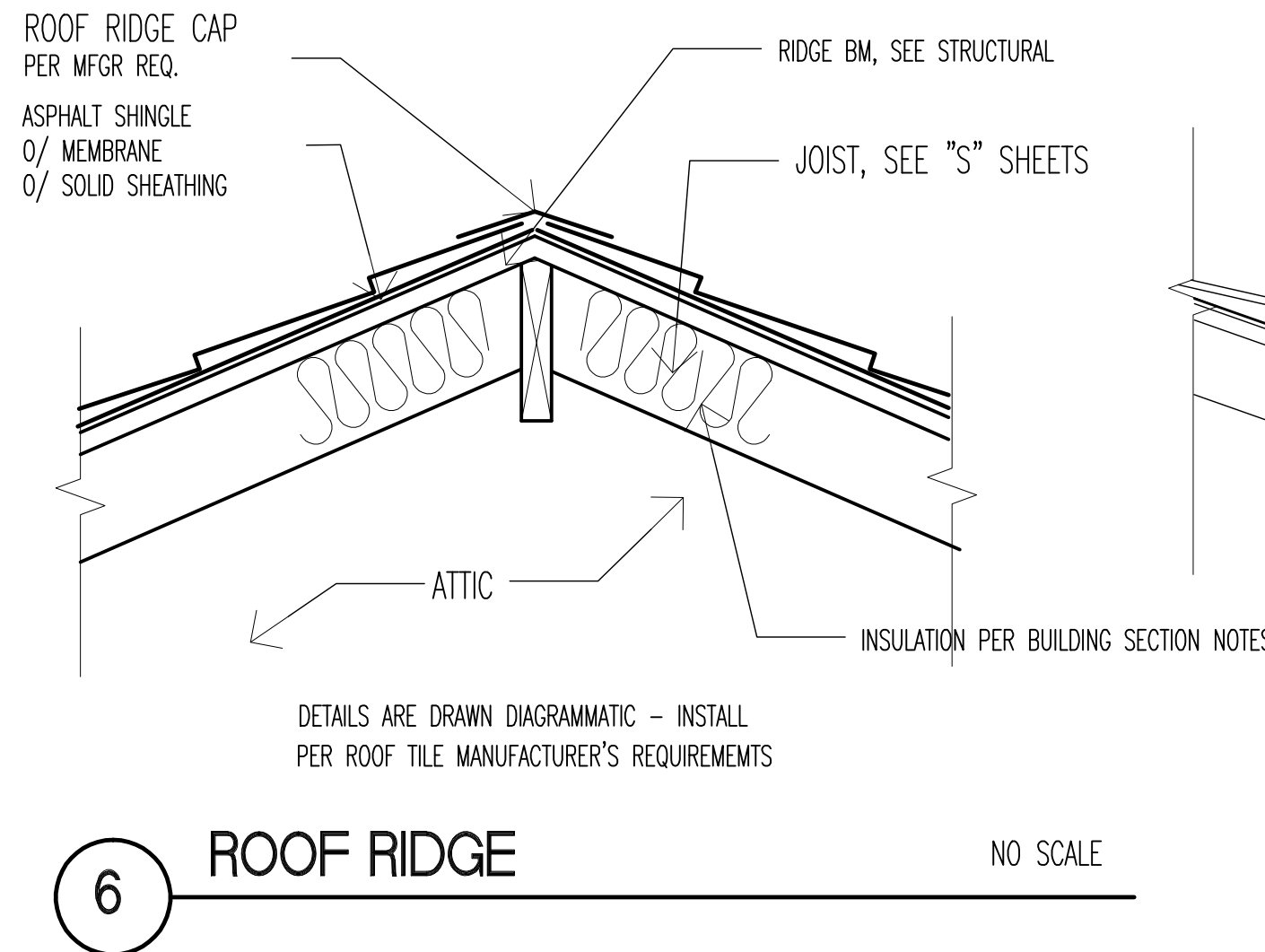
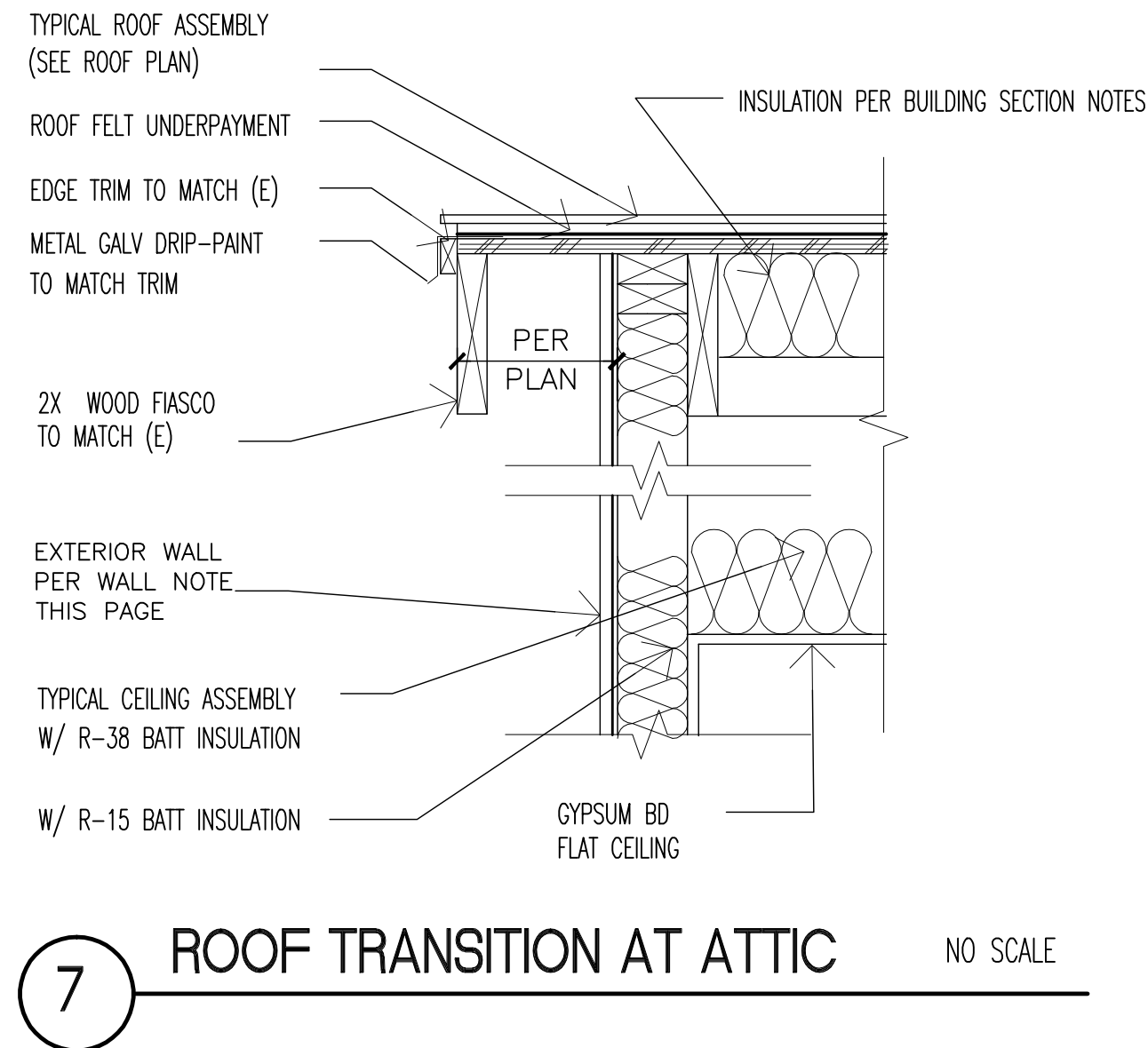
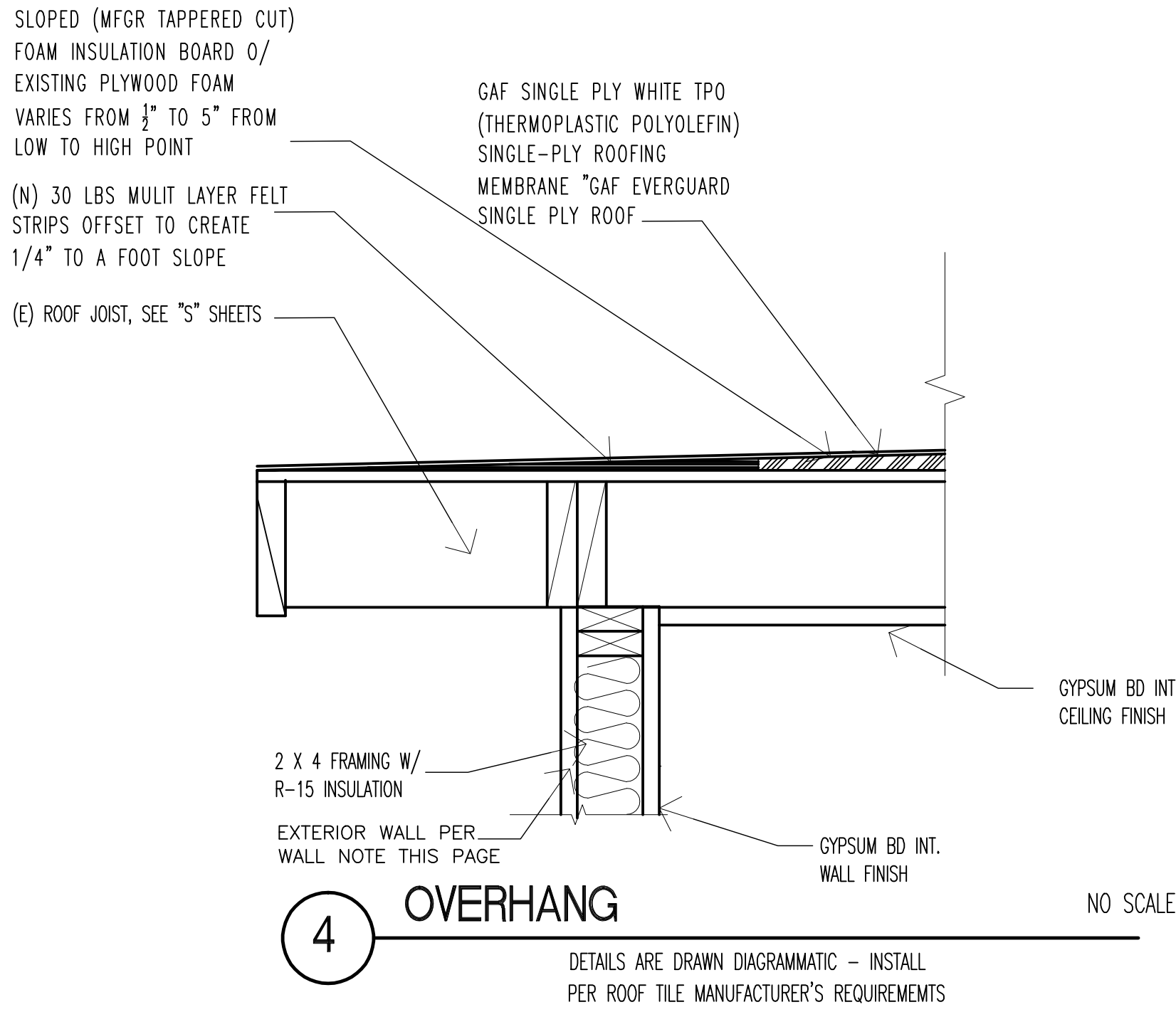
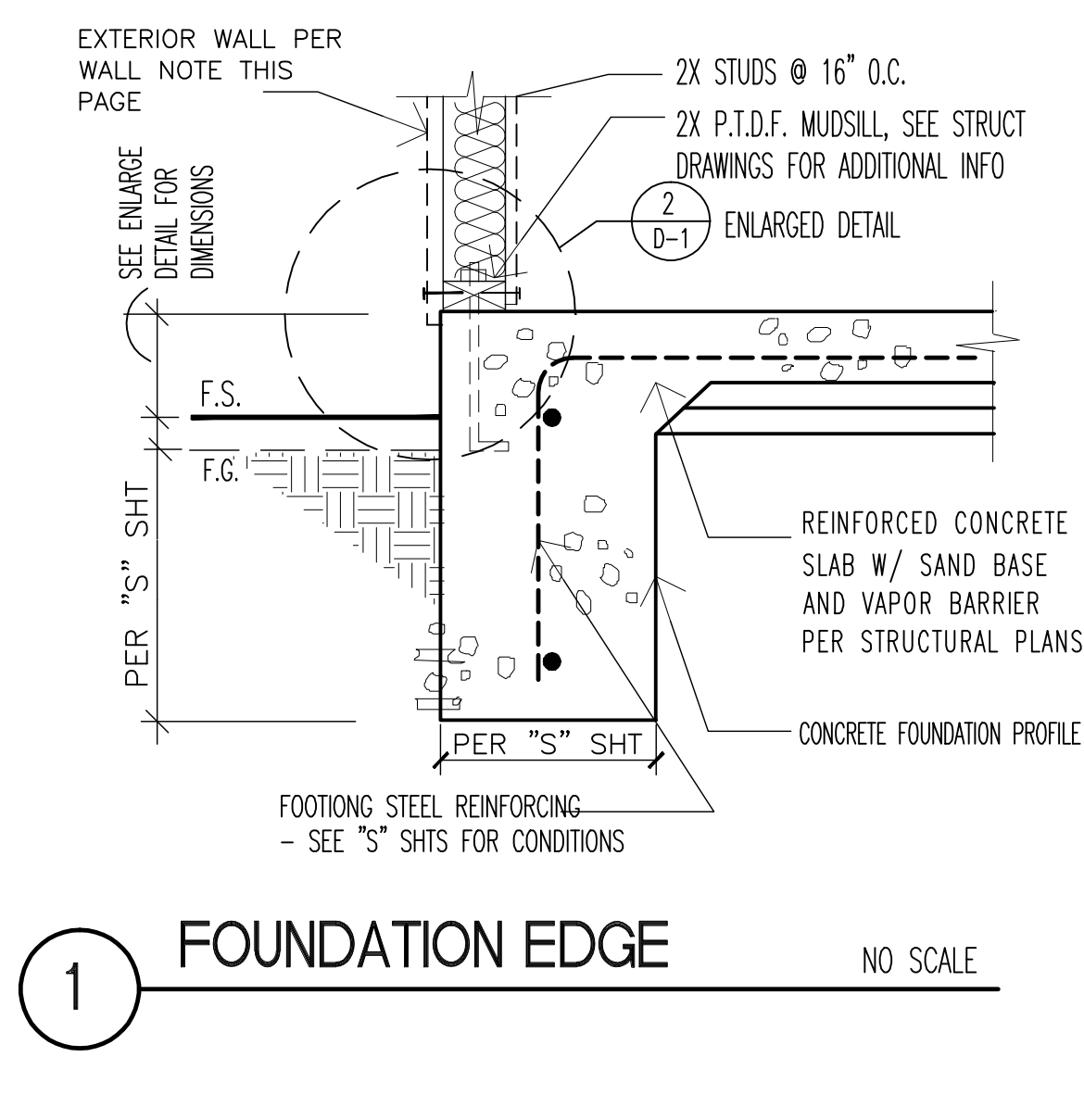
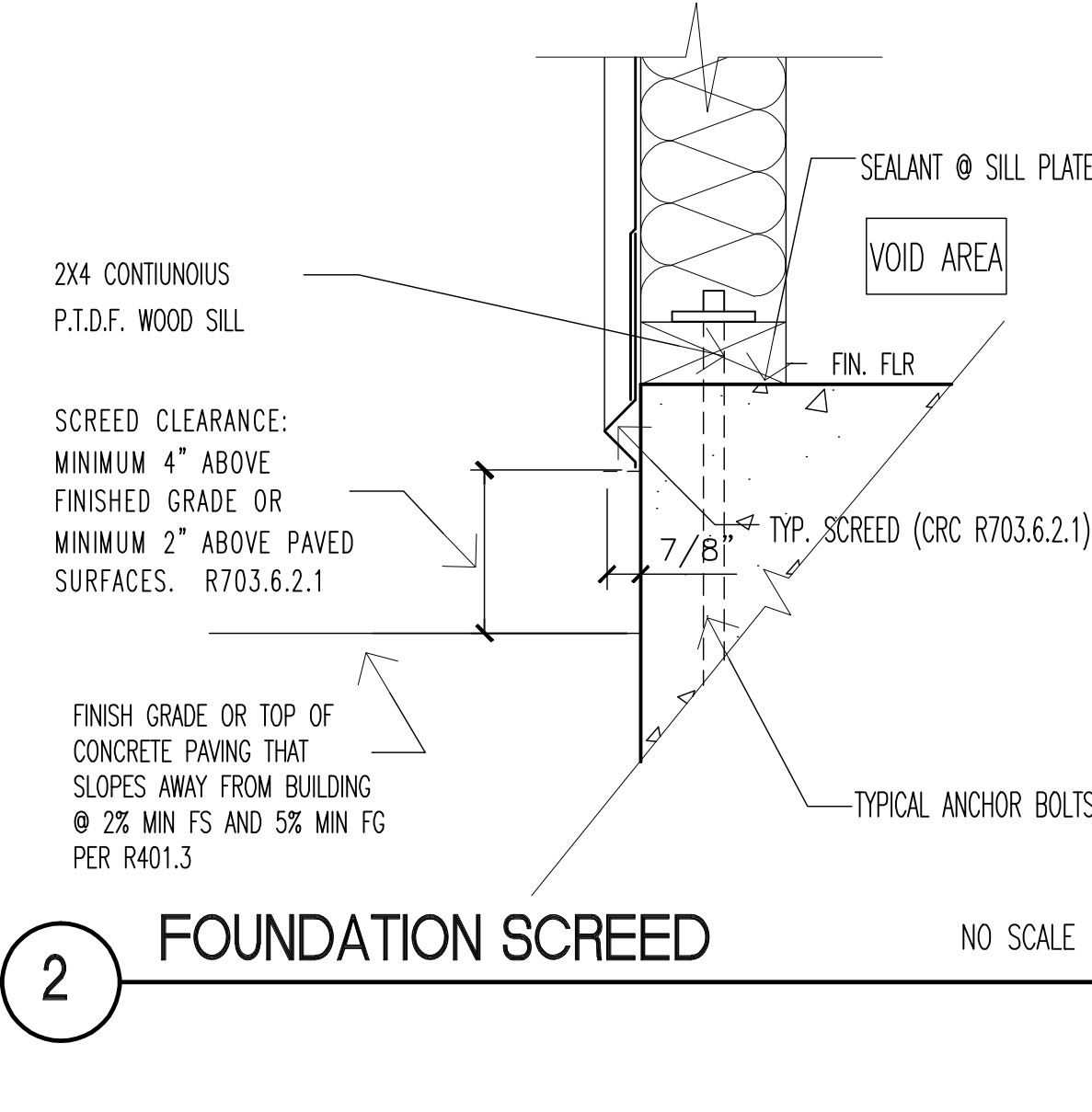
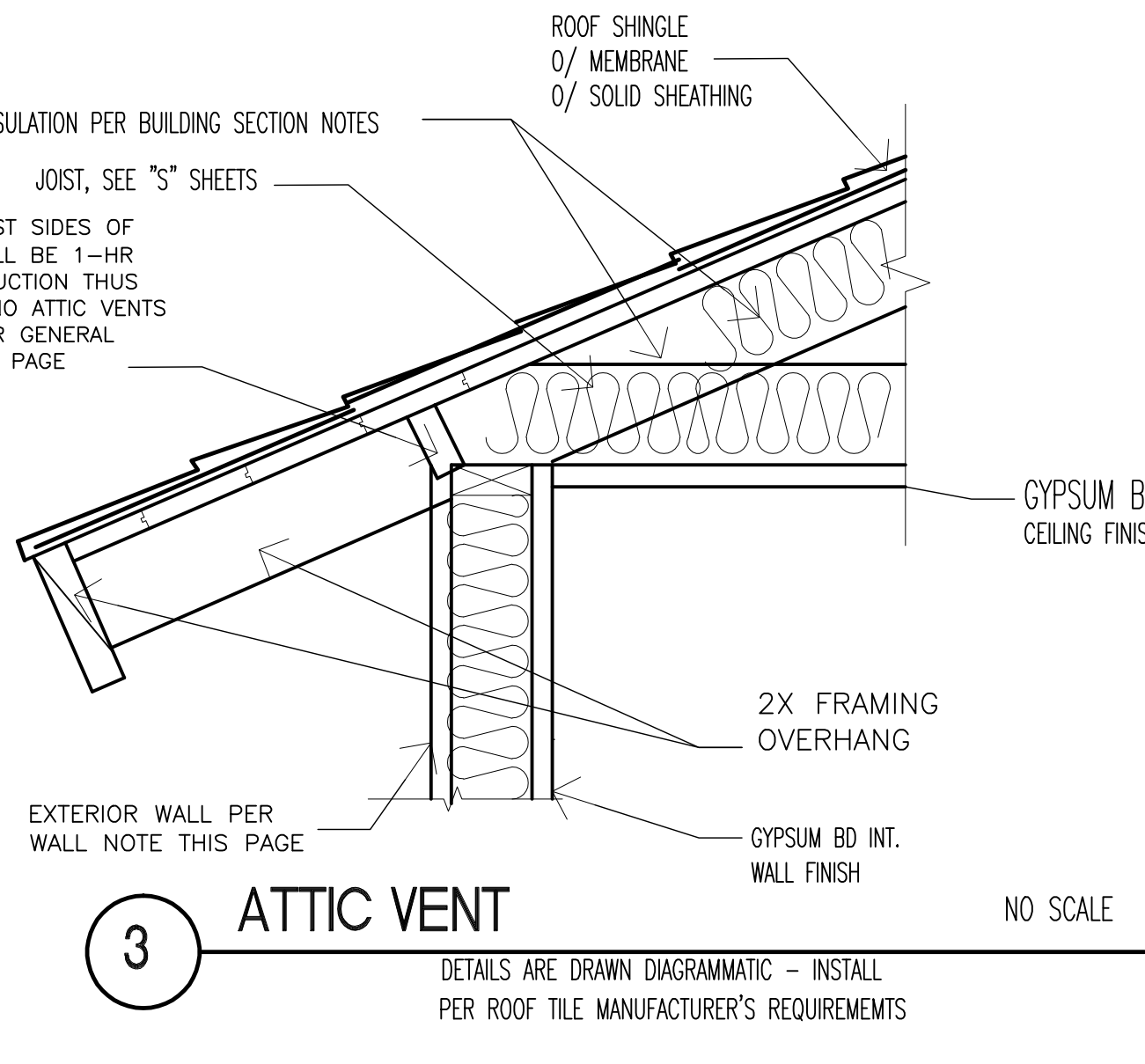
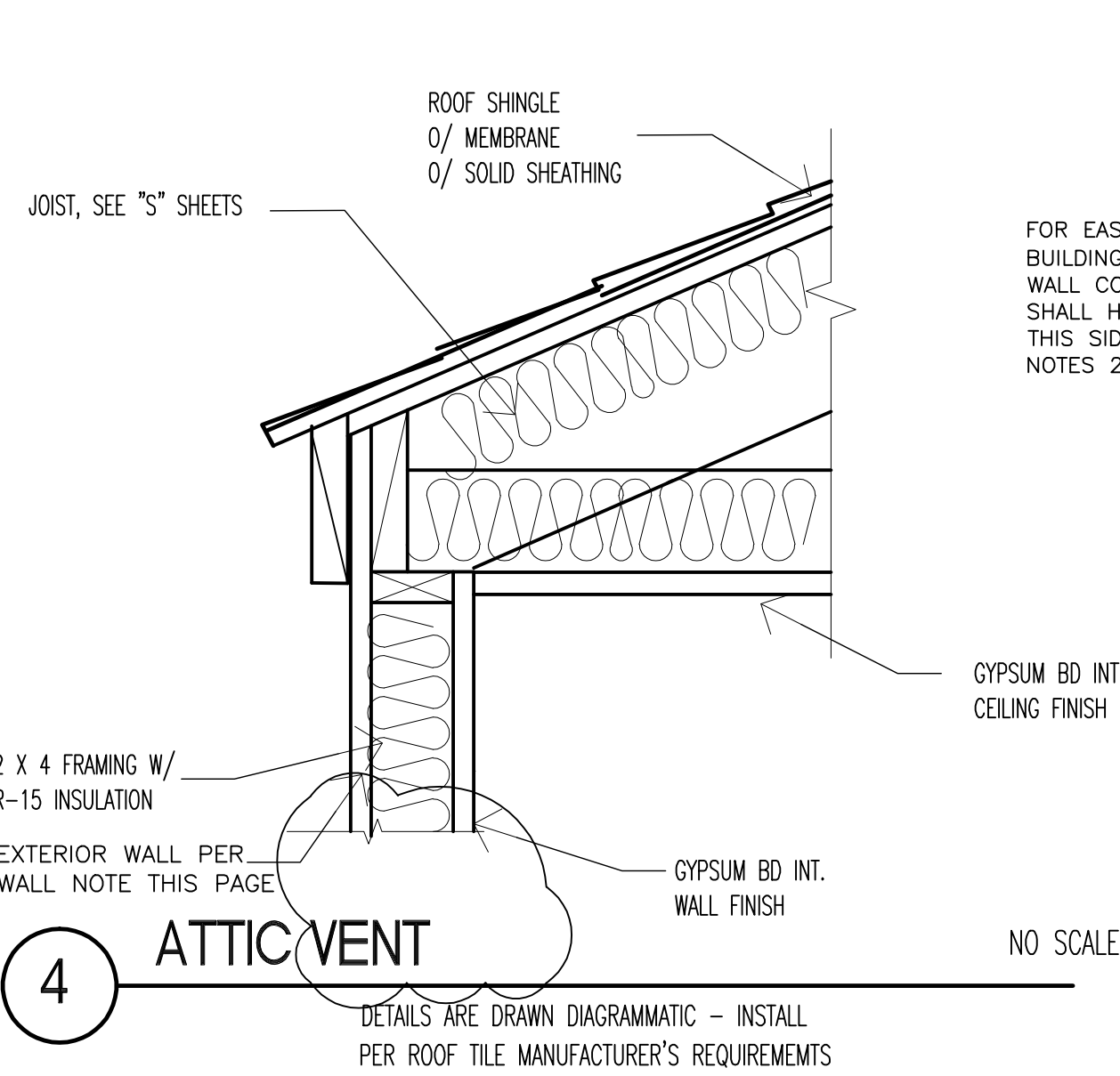
JOB NO.

SHEET

A-9

1 OF 12 INDEX SHEETS





Contractor shall exercise the responsibility with architect in securing latest approved dwgs. prior to actually executing work.

NO./REVISION/DATE

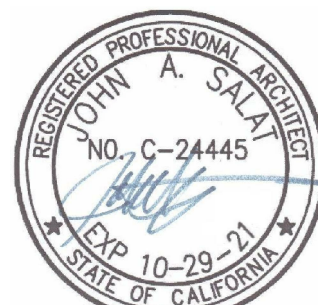
SCHEME "A" 3-22-21

JOHN A. SALAT ARCHITECTS  
22386 Woodgrove Road, Lake Forest, CA 92630  
PH 949-235-4847 email: freewings@earthlink.net  
zenarchitect.com

architect

SALAT RESIDENCE  
REMODEL/ADDITION  
MISCELLANEOUS DETAILS

OWNER/SITE ADDRESS:  
CONTACT: John & Paula Salat  
239 Calle Fiesta  
San Clemente, CA 92672  
PH 949.235.4847 email: freewings@earthlink.net



DRAWN  
5  
CHECKED  
5  
DATE  
SEE REVISION BOX ABOVE FOR DATE  
SCALE  
AS NOTED ON PLANS  
JOB NO.  
SHEET

D-1

1 OF 127 INDEX SHEETS