

CONDITIONS OF APPROVAL

NOTE for Required Entitlements: Based on the review of the submitted plans, the proposed project requires Design Review Board for a new pool and spa, and the associated environmental determination. The listed items are the COA as follows:

1) THE 2 EXISTING LOTS SHALL MERGE INTO ONE SINGLE LOT AS A MINOR LOT ADJUSTMENT PURSUANT TO LBMC SECTION 25.08.004. AS SUCH IMPROVEMENTS OCCURRING OVER A COMMON LOT LINE SHARED BETWEEN TWO OR MORE LOTS SHALL BE DEEMED TO BE ONE BUILDING. SITE, THE CONDITION OF APPROVAL SHALL BE INCLUDED AS PART OF STAFF'S DESIGN REVIEW RECOMMENDATION REQUIRING THE REORDINATION OF A LOT MERGER. SUCH CHANGES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO RECEIVING BUILDING PERMIT. REFER CIVIL DRAWINGS FOR EXPANDED INFORMATION NOT MENTIONED

2) WATER EFFICIENT LANDSCAPING: THE PROPOSED TOTAL IRRIGATED LANDSCAPE AREA (SEPARATE FROM LANDSCAPED OPEN SPACE, WHICH EXCLUDES AREAS LESS THAN 30 WIDE). IF THE PROJECT INCLUDES AN AGGREGATE IRRIGATED LANDSCAPE AREA OF 500 SQUARE FEET OR MORE FOR NEW LANDSCAPE PROJECTS, OR 2,500 SQUARE FEET OR MORE FOR REHABILITATED LANDSCAPE PROJECTS, THE PROJECT REQUIRES COMPLIANCE WITH THE WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) [LBMC 19.01]. IF WELO IS APPLICABLE, A PRESCRIPTIVE COMPLIANCE OPTION IS AVAILABLE FOR PROJECTS WITH THE WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) [LBMC 19.01]. IF WELO IS APPLICABLE, A PRESCRIPTIVE COMPLIANCE OPTION IS AVAILABLE FOR PROJECTS WITH AN AGGREGATE IRRIGATED LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS.

3) EARLY NEIGHBORHOOD COMMUNICATION: THE CITY REQUIRES EACH APPLICANT TO TAKE REASONABLE, VERIFIABLE STEPS TO CONTACT NEIGHBORS WITHIN 300 FEET OF THE PROPOSED PROJECT PRIOR TO SCHEDULING A DESIGN REVIEW BOARD HEARING. THE APPLICANT IS ENCOURAGED TO INSTALL PRELIMINARY STAKING TO DETERMINE IMPACTS TO VIEWS AND PRIVACY PRIOR TO FINALIZING THE DESIGN. EARLY, INFORMAL COMMUNICATION WITH NEIGHBORS, PREFERABLY PRIOR TO DECIDING ON A FINAL DESIGN, OFTEN RESOLVES POTENTIAL CONFLICTS SO THAT THE FORMAL DESIGN REVIEW PROCESS CAN BE EXPEDITED.

4) BUILDING PERMIT REQUIRED: PLANNING APPROVAL, WHICH MAY INCLUDE APPROVALS BY THE DESIGN REVIEW BOARD, PLANNING COMMISSION, OR BY STAFF THROUGH THE ADMINISTRATIVE DESIGN REVIEW PROCESS, DOES NOT AUTHORIZE YOU TO BEGIN CONSTRUCTION. ONCE THE PLANNING APPROVAL PROCESS HAS BEEN COMPLETED AND ALL APPLICABLE APPEAL PERIODS HAVE LAPSED, PLEASE SUBMIT COMPLETE CONSTRUCTION DRAWINGS FOR BUILDING PLAN CHECK. THE BUILDING DIVISION WILL CONFIRM COMPLIANCE WITH LOCAL AND STATE BUILDING SAFETY STANDARDS PRIOR TO ISSUANCE OF A BUILDING PERMIT.

5) REVISIONS: REQUESTS FOR DESIGN CHANGES TO DESIGN REVIEW APPROVED PLANS ARE REQUIRED TO BE RETURNED TO THE APPROVAL BODY AS A NOTICED PUBLIC HEARING ITEM. THIS INCLUDES WINDOW AND DOOR CHANGES, ROOFLINE CHANGES, SKYLIGHTS, CHIMNEY RELOCATION, POOLS/SPAS, AIR CONDITIONING UNITS AND ANY OTHER EXTERIOR MODIFICATIONS. TO AVOID ADDITIONAL PUBLIC HEARINGS, PLEASE INCORPORATE ALL DESIRED DESIGN ELEMENTS IN THE ORIGINAL PLANS.

6) CONSTRUCTION STAGING IMPLEMENTATION PROCEDURES: CONSTRUCTION PROJECTS ON SITES WITH PHYSICAL CONSTRAINTS SUCH AS STEEP TOPOGRAPHY, UNUSUAL CONFIGURATION OR CONSTRICTED STREET ACCESS HAVE POTENTIAL TO CAUSE TRAFFIC DELAYS AND OTHER CONGESTION PROBLEMS. IN ORDER TO ALLEVIATE THESE PROBLEMS, CONSTRUCTION STAGING PLANS AND PERMITS ARE REQUIRED WHEN DETERMINED NECESSARY BY THE BUILDING OFFICIAL. FOR PRE-PLANNING SEE SHEET A-1.2 FOR SUGGESTIVE LAYOUT AND EXECUTION.

7) THIS DRAFT SUBMITAL ON SHEET C-7, BOUNDARY/TOPOGRAPHIC MAP, IDENTIFIES ELEVATIONS OF FINISH FLOOR WITH CONTOUR LINES OF APPROXIMATE ELEVATIONS OF FRONT AND REAR PROPERTY CORNERS. FOR "CONDITIONS OF APPROVAL," CIVIL SHALL IDENTIFY THE EXACT FIXED DATUM POINTS AS ELEVATIONS HEIGHTS FOR FRONT AND REAR PROPERTY CORNERS.

8) CONSTRAINT ANALYSIS (D/CSP): PROVIDE A SITE-SPECIFIC CONSTRAINT ANALYSIS PLAN THAT CONSIDERS THE TOPOGRAPHY, DRAINAGE, SOIL STABILITY, ROCK OUTCROPPINGS, TREES, ACCESSIBILITY, PUBLIC AND PRIVATE VIEW CORRIDORS, HIGH VALUE HABITATS, WILDLIFE AND MIGRATION CORRIDORS. PACKAGED ADDRESSED AND NOTED

9) CONCEPT REVIEW (D/CSP): DIAMOND/CRESTVIEW SPECIFIC PLAN AREA REQUIRES A CONCEPT REVIEW PRIOR TO A FORMAL DESIGN REVIEW BOARD HEARING. ONCE ALL THE REQUIRED PLANS HAVE BEEN SUBMITTED, THE PROJECT WILL BE FORWARDED FOR CONCEPT REVIEW. NOTED

AS-BUILT AERIAL SITE PLAN

BUILDING DEPARTMENT GENERAL NOTES

1. ALL NEW CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE (CBC); CMC 2022 CALIFORNIA MECHANICAL CODE, CPC 2022 CALIFORNIA PLUMBING CODE; 2022 ENERGY CODE (T-24), CEC; CG 2022 CALIFORNIA ELECTRICAL CODE AND 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE AND CHAPTER 15 OF THE LAGUNA BEACH MUNICIPAL CODE.

2. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS TO BE REMOVED, RELOCATED OR REMAIN INTACT AND HOW THE NEW CONSTRUCTION RELATES TO THE SITE CONDITION. ALL CONSTRUCTION AND INSTALLATION SHALL COMPLY WITH THE LATEST CONDITIONS (STATE/COUNTY/CITY) OF CODES AND ORDINANCES INCLUDING CAL OSHA AND FIRE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CODE COMPLIANCE OF WORK OF EVERY TRADE.

3. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED FROM CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

4. CONTRACTOR TO EITHER PROVIDE A PORTABLE TOILET AND HAND WASH STATION PER OSHA REGULATIONS OR SECURE IN ADVANCE WITH OWNER TO USE THERE EXISTING INDOOR ONSITE REST ROOM INSIDE THE HOUSE.

5. HOUSE ADDRESS NUMBER SHALL BE MOUNTED ON HOUSE & SHALL BE VISIBLE AND LEGIBLE FROM THE STREET IN A CONTRAST COLOR 4" TALL MINIMUM- SEE EXTERIOR ELEVATION FOR ACTUAL SPEC

6. ALL DIMENSIONS AND THE SITE CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE JOB SITE PRIOR TO WORK. THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION. ACTUAL FIELD DIMENSION/CONDITIONS SHALL HAVE PRECEDENCE FROM PRINTED DIMENSIONS ON THESE DRAWINGS. REPORT TO ARCHITECT ANY DISCREPANCIES THAT INTERFERES WITH NEW RETROFIT WORK.

7. THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS AND SEQUENCE OF WORK THROUGH UTILIZING ARCHITECT'S DRAWINGS AS INSTRUMENTS FOR INSTRUCTION, NOT THE PRODUCT ITSELF. THE ARCHITECT WILL BE INSTRUMENTAL IN CLARIFYING DRAWING INTERPRETATIONS AND OTHER INQUIRIES DURING BID & CONSTRUCTION IN A TIMELY MANNER. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF FIELD SAFETY, ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS AND ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY INCLUDING TIME SCHEDULES AND TRADE SEQUENCE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

8. DEFERRED SUBMITTALS: POOL FENCE, POOL DECK, POOL DECK DRAINAGE, UTILITIES AND POOL EQUIPMENT SHALL BE SECURE AS SEPARATE PERMITS BY POOL CONTRACTOR WITH CITY PRIOR TO ANY SITE WORK

9. OUTDOOR FIREPLACES, FIRE PITS, TORCHES, OUTDOOR BARBEQUES AND GRILLS (FUEL MODIFICATION DESIGNATION): SHOW COMPLIANCE WITH THE FOLLOWING REQUIREMENTS AND NOTE ON THE PLANS:

a) ALL EXTERIOR FLAME PRODUCING DEVICES, STRUCTURES OR EQUIPMENT SHALL BE GAS BURNING ONLY.

b) SUCH DEVICES, STRUCTURES OR EQUIPMENT SHALL NOT BE USED FOR THE DISPOSAL OF RUBBISH, TRASH OR COMBUSTIBLE MATERIALS.

c) SUCH DEVICES, STRUCTURES OR EQUIPMENT SHALL BE LOCATED PER THE MANUFACTURES RECOMMENDATIONS RELATING TO THE SEPARATION FROM ANY COMBUSTIBLE STRUCTURE.

d) PROPERTIES SHALL NOT BE PERMITTED TO HAVE SUCH DEVICES, STRUCTURES OR EQUIPMENT WITHIN 10' OF ALL NON-FIRE-RESISTIVE VEGETATION OR UNDEVELOPED WILDLAND.

10. FOR SITE SUMMARY BREAKDOWNS OF TABULATION NOT SHOWN NOT THIS PAGE TO REFER TO SHEET A-1.1 FOR DETAILED OUTLINE

INDEX

NOTE: IF THIS SET IS NOT 24"x36" SIZE, IT IS NOT TO SCALE

ARCHITECTURAL DRAWINGS	CIVIL DRAWINGS
A-1 COVER SHEET	C-1 TITLE SHEET (COVER PAGE)
A-1.1 SITE SUMMARY TABLES	C-2 DEMOLITION PLAN
A-1.2 CONSTRUCTION STAGING	C-3 PRECISE GRADING PLAN
A-2 OVERALL SITE PLAN (SETBACK ANALYSIS)	C-3A PRECISE GRADING PLAN (ENLARGED)
A-2.1 PROPOSED SITE PLAN	C-4 SECTIONS A, B & C
A-3 ARCHITECTURAL ELEVATIONS & SECTIONS	C-5 SECTIONS D, E & F
EP-1 SITE ELECTRICAL/PLUMBING PLAN	C-6 BMP'S & EROSION CONTROL
EP-2 SITE LIGHTING DETAILS	C-7 BOUNDARY TOPO MAP
	C-8 STAKING PLAN

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POOL DRAWINGS (DEFERRED DRAWINGS AS N/C)
DEFERRED SUBMITAL DRAWING FOR POOL WILL BE REQUIRED VIA SEPARATE PERMIT - SEE NOTE #8 THIS PAGE

CONSULTANTS

ARCHITECTURAL	CONTRACTOR
John A. Salat Architects 22386 Woodgrove Road Lake Forest, CA 92630 Attn: John Salat E-mail: freeingwinds@earthlink.net Ph 949-235-4847	Peter Drilling and Contracting, Inc. 1519 Calle Valle, San Clemente, California 92672 Contact: David Peter (949) 678-0228 email: dave@peterdrilling.com CA Lic#752595 www.peterdrilling.com
CIVIL AND SOILS ENGINEERS Stephen Peter, PE, President 1519 Calle Valle, San Clemente, CA 92672 (949) 492-3735 Office (949) 492-1891 Fax (949) 370-6655 Cell Web: www.peterassoc.com Email: steve@peterassoc.com	LANDSCAPE ARCHITECT Frederick Thomas Hume Principal: Rick Hume, FASLA licensed Architect 2984 Mountain View Dr, #A Laguna Beach, CA 92651 Phone: 949.376.3998 Email: FTH2NOVB@cox.net
	POOL ENGINEER/CONTRACTOR TO BE DETERMINED - SEPERATE PERMIT

PROJECT DATA

OWNER	SITE/BUILDING DATA:
OWNER/SITE ADDRESS: Semira Khashaei 2210 Crestview Dr Laguna Beach, CA 92651 ph (321) 368-1216 Email: mailsemi@yahoo.com	Site composes of two existing side-by-side lots Lot 38 = 4516sf + Lot 37=4417 sf = Total of 8,933 sf PROPERTY ZONE: Single Family Residential (1)

3 See civil drawings and "Conditions of Approval" this page for additional information not shown

SPECIFIC PLAN

DIAMOND CRESTVIEW

1

LEGAL DESCRIPTION

Property of existing home: 2210 Crestview Dr, Laguna Beach, CA Parcel ID 64429314
Legal description: N TR 764 BLK LOT 37

Property of empty lot: 2200 Crestview Dr, Laguna Beach, CA Parcel ID 64429315
Legal description: N TR 764 BLK LOT 38

SITE AREA CALCULATIONS:

Existing dwelling: 3,282 total s.f. to remain
Existing decks: (level 2 & 3 combined) 948 s.f. to remain
Existing covered patio: (level 1) 259 sf to remain
Existing 2-car garage: 354 s.f. to remain
Refer to sheet A-1.1 for breakdowns of all site calculations (project summary tabs)

PARKING:

Enclosed garage: 2 stalls
Driveway: 2 stalls

SCOPE OF WORK (REMODEL/ADDITION)

BRIEF INTRO:
Originally built in 1956, the existing 3-story single detached home was last remodeled in 2001, containing 3,282 s.f. of 3 bedrooms and 4-1/2 bathrooms with an attached 2-car garage. (No work will be performed on the existing home) as all scope is site work which will be performed on empty lot remotely off the right side of the existing residential structure.

The empty lot portion shall include a new leveled portion of pool/spa/deck all on an existing slope of 1-1/2 to 1 grade, which a slab-on-grade pool deck sits on portions of flat/sloped sections of lot. The proposed work includes tier retaining walls, two access stairs (one on grade and other above grade) along with guardrails, fences, pool equipment, outdoor BBQ with counter/sink, 2-fire pits, lighting, landscape/gardening pads in all that makes complete for site improvements. (Note: The 2 lots have overlaps where 95% of work is focused to right side of existing empty lot #36 and 5% at lot #37 where existing home portions sits for the new outdoor stairs intercept between the two lot portions.

Pool contractor shall submit additional pool drawings/pool equipment to secure separate permits prior to commencing work of this discipline.

VICINITY MAP

PLANNING DEPARTMENT SUPPLEMENTARY NOTES

1. PREFAB FOUNTAIN UNIT: REFER TO SHEET A1.1 FOR PRODUCTS SPEC INFORMATION
PORTOFINO PRECAST STONE WALL FOUNTAIN ASSEMBLY BY FLORENCE NEW ITALIAN ART COMPANY PORTOFINO CAST STONE WALL FOUNTAIN W/ CAST IRON SPOUT INTO BOWLS W/ RECIRCULATING SUBMERSIBLE PUMP W/ VINYL TUBING, ASSEMBLY KIT. (PUMP W/ ADJUSTABLE FLOW RATE)
MATERIAL: PRECAST STONE ASSEMBLY UNIT TO BE ASSEMBLED ON SITE
OVERALL DIMENSION OF UNIT: 36" HIGH X 24" WIDE X 17" DEEP
TWO TIERS: RESERVOIR HOLDS 5 GALLONS MAX -10" H MAXIMUM STANDING WATER
POWER SOURCE: ELECTRICITY VOLTAGE REQUIREMENT 110 VOLT -LOCATION: OUTDOOR USE
SMALL FOUNTAIN PUMP: UL-LISTED LOW-VOLTAGE QUIET SUBMERSIBLE 220 GPH ULTRA QUIET (15W 800L/H)

2. POOL PUMP: NOISE TO NOT EXCEED 50 DECIBELS (DAYTIME) AND A MAXIMUM OF 40 DECIBELS AT NIGHTTIME. (THE MINIMUM POOL EQUIPMENT DISTANCE TO PROPERTY LINES IS ABOUT 15 FT). REFER TO SHEET A1.1 FOR SITE PRODUCTS SPECS AND SOUND CALCULATION INFORMATION

3. HAVE REQUIREMENTS AS FOLLOWS:

A) ALL EXTERIOR FLAME PRODUCING DEVICES, STRUCTURES OR EQUIPMENT SHALL BE GAS BURNING ONLY.

B) SUCH DEVICES, STRUCTURES OR EQUIPMENT SHALL NOT BE USED FOR THE DISPOSAL OF RUBBISH, TRASH OR COMBUSTIBLE MATERIALS.

C) SUCH DEVICES, STRUCTURES OR EQUIPMENT SHALL BE LOCATED PER THE MANUFACTURES RECOMMENDATIONS RELATING TO THE SEPARATION FROM ANY COMBUSTIBLE STRUCTURE.

D) PROPERTIES SHALL NOT BE PERMITTED TO HAVE SUCH DEVICES, STRUCTURES OR EQUIPMENT WITHIN 10 FEET OF ALL NON-FIRE-RESISTIVE VEGETATION OR UNDEVELOPED WILDLAND- REFER TO LANDSCAPE PLAN FOR SETBACK DIMENSIONS AND TYPE OF PROPOSED PLANTING MATERIALS SHOWN GRAPHICALLY ON PLANS ON SHEET L-1 PER SECTION 307.2

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1. ALL EXTERIOR FLAME PRODUCING DEVICES, APPLIANCES, STRUCTURES OR EQUIPMENT SHALL BE NATURAL GAS OR LP GAS BURNING ONLY.

2. ALL PERMANENT EXTERIOR FIREPLACES AND BARBEQUES SHALL MAINTAIN A 10-FOOT SEPARATION FROM ALL COMBUSTIBLE MATERIALS.

3. ALL PERMANENT EXTERIOR FIRE PITS SHALL MAINTAIN 20 FEET OF SEPARATION FROM ALL COMBUSTIBLE MATERIALS.

4. SUCH DEVICES, APPLIANCES, STRUCTURES OR EQUIPMENT SHALL NOT BE USED FOR THE DISPOSAL OF RUBBISH, TRASH OR COMBUSTIBLE MATERIALS.

5. OUTDOOR FIREPLACES SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR.

6. TIKE TYPE TORCHES, EMBER PRODUCING DEVICES, AND OPEN FLAME DECORATIVE DEVICES ARE NOT PERMITTED.

7. PORTABLE FIRE PITS, PORTABLE FIREPLACES, CHIMINEAS OR FIRE BOWLS ARE NOT PERMITTED.

9. SEPARATION DISTANCES REQUIRED BY THIS SECTION SHALL NOT EXTEND OFF PROPERTY.

4. LANDSCAPED OPEN SPACE AND IRRIGATION: PROPOSED LANDSCAPING SHOULD COMPLY WITH LBMC §25.10.008(O). BASED ON THIS PROPERTY DEVELOPMENT STANDARD THE SUBJECT PROPERTY REQUIRED A MINIMUM OF 25.72% GROUND-TO-SKY LANDSCAPED OPEN SPACE OR LANDSCAPED AREA (SEE LANDSCAPE DRAWINGS). IRRIGATION TO LANDSCAPING SHALL MEET THE WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) [LBMC 19.01]. (SEE LANDSCAPE DRAWINGS FOR CALCULATIONS AND LAYOUT)

5. A PRELIMINARY STAKING PLAN IS PROVIDED ON SHEET C-8. IT IS REQUIRED TO PROVIDE STAKING ON SITE MINIMALLY 21 DAYS PRIOR TO PUBLIC HEARING DATE - CIVIL SHALL COMPLETE AND FILL-OUT CITY STAKING FROM AT TIME COMPLETING STAKE INSTALLATION SHOWN ON CIVIL PAGE SHEET C-8

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GENERAL NOTES

1. THESE NOTES APPLY TO ALL DRAWINGS, UNLESS NOTED OTHERWISE. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE DRAWINGS AND/OR GENERAL NOTES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK SO INVOLVED. ALL NOTIFICATIONS SHALL BE IN WRITING USING RFI NUMBERING W/ DATE FOR CHRONOLOGICAL REFERENCING. ALL CHANGE ORDERS TO BE CROSS REFERENCED FROM RFI FOR ACCURATE LOG SHEET

2. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR STRUCTURAL ENGINEER FIELD REPRESENTATIVE SHALL NEITHER BE CONSTRUED AS INSPECTION NOR APPROVAL AS NOT AS INSPECTION AND DOES NOT IN ANY WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES. UNLESS NOTED OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT AND/OR HIS CONSULTANTS ARE NOT TO INCLUDE INSPECTIONS OF REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR HIS CONSULTANTS DURING CONSTRUCTION ARE TO BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR HIS CONSULTANTS, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING GENERAL CONFORMANCE WITH DESIGN CONCEPT AND CONTRACT DRAWINGS AND SPECIFICATIONS AND THEREFORE, THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE.

3. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSTALLATIONS THROUGH UTILIZING ARCHITECT'S DRAWINGS AS INSTRUMENTS FOR INSTRUCTION, NOT THE PRODUCT ITSELF AS THE DRAWINGS DO NOT REPRESENT THE METHOD OF CONSTRUCTION. CONTRACTOR IS TO SUPERVISE AND DIRECT THE WORK UNDER HIS CONTRACT AND IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE AND SAFETY OF WORKMEN DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO, BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF FIELD SAFETY, ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS AND ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY INCLUDING TIME SCHEDULES AND TRADE SEQUENCE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

4. ARCHITECT DOES NOT PREPARE SHOP DRAWINGS AS EACH VENDOR SHALL SECURE THEIR OWN SHOP DRAWINGS INCLUDING DIFFERED ITEMS WITH CITY. ALL SHOP DRAWINGS AND PRODUCT SUBMITTALS REVIEW FROM THE ARCHITECT'S OFFICE SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR COMPLIANCE WITH THE STRUCTURAL CONSTRUCTION DOCUMENT. SHOP DRAWING SUBMITTALS AND PRODUCT SUBMITTALS WILL BE REVIEWED FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT AS INDICATED BY THE CONSTRUCTION DOCUMENT. QUANTITIES OR DIMENSIONS WILL NOT BE REVIEWED. PROCESSES, TECHNIQUES OF CONSTRUCTION, SAFETY PROCEDURES, OR COORDINATION OF THE WORK WITH THAT OF ANY OTHER TRADE WILL NOT BE REVIEWED. SHOULD ANY COMMENT BE RELATED TO THE ABOVE BE MADE BY ARCHITECT, SUCH COMMENT SHALL BE CONSIDERED ADVISORY ONLY. OFFERED AS A COURTESY TO FACILITATE WORK, AND IS NOT AN INDICATION THAT ALL SUCH INSTANCES, WHERE SUCH A COMMENT WOULD BE APPROPRIATE, IT HAS BEEN IDENTIFIED. CLIENT AGREES TO INDEMNIFY AND HOLD HARMLESS THE ARCHITECT FROM ANY AND ALL CLAIMS OR LIABILITIES ARISING FROM SUCH ERRORS OR NEGLIGENCE.

5. ARCHITECT SHALL BE NOTIFIED OF DESIGN CHANGES PRIOR TO EXECUTION OF WORK AND HAVE ACCESS BEFORE TRADE COVER-UPS FOR FIELD REVIEW. DISPUTES BETWEEN ARCHITECT, CONTRACTOR AND OWNER SHALL BE IN STRICT CONFORMANCE WITH LATEST AMERICAN INSTITUTE OF ARCHITECTURE EDITION, FORM A101 AND B101 (SIGNED OR UNSIGNED).

OWNER/SITE ADDRESS:

Semira Khashaei
2210 Crestview Dr
Laguna Beach, CA 92651
ph (321) 368-1216 Email: mailsemi@yahoo.com

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NO.	REVISIONS
1	DRB INTIAL SET 1-18-23
2	DRB CITY SET 5-15-23
3	DRB CITY SET 6-26-23
4	DRB CITY SET 7-25-23

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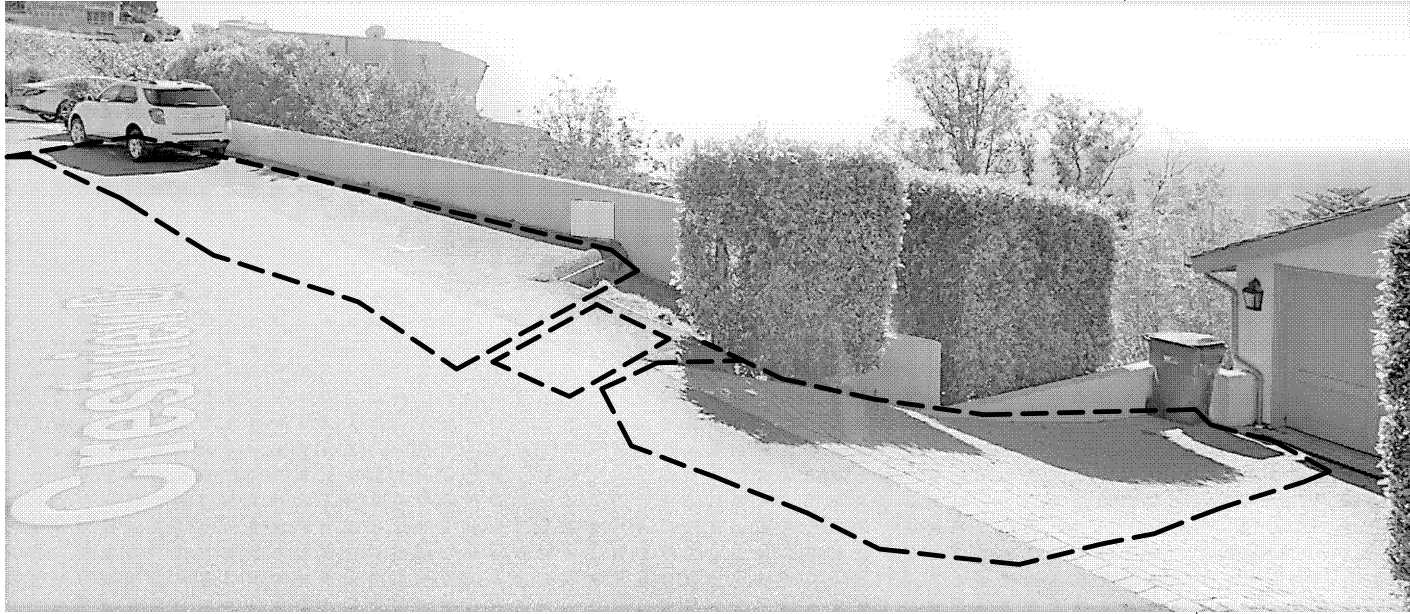
REVISIONS

NO.	REVISIONS
1	DRB INTIAL SET 1-18-23
2	DRB CITY SET 5-15-23

STAGING NOTES

GENERAL NOTE: Staging areas are relatively flat areas at the project site used for the delivery and storage of materials, parking areas for construction equipment and construction vehicles, dumpsters, concrete washout areas, portable toilets and other uses necessary for the construction project.

1. CONSTRUCTION STAGING COMPRISE OF (1) DEMOLITION, (2) DRILLING THE CAISSONS, (3) CONSTRUCTION OF POOL/SPA RETAINING WALLS, (4) CONSTRUCTION OF PATIO SLAB AND LANDSCAPING.
2. FOR CUT AND FILL, THE SOIL REMOVAL IS ABOUT 140.48 CYS OR 14 TRUCK LOADS (10 CYS PER TRUCK). AT THIS POINT WE DO NOT ANTICIPATE ANY CAUSE OF TRAFFIC DELAY OR CLOSER OF THE ROAD.
3. SEE C-2 AND C-6 OF GRADING PLAN FOR DEMOLITION, SHORING AND BMP/EROSION CONTROL PLAN SUPPORTING THE CONSTRUCTION BEFORE/DURING ACTIVITY AT STAGING PLUS OTHER SITE NEW PROPOSED AS INDICATED ON DRAWINGS.
4. SIXTEEN FEET OF PAVED CLEARANCE ALONG THE ENTIRE FRONTAGE OF THE LOT MUST BE MAINTAINED. THE SUMMATION OF STAGING AREA MUST BE A MINIMUM SIZE OF 600 SQUARE FEET TOTAL AND VEHICLE PARKING MUST BE IN ADDITION TO THE 600 SQUARE FEET AREA AS NOTED ON PLANS. WHERE STAFF PARKING COULD EXCEED WHERE SHOWN, AN EMPLOYEE SHUTTLE/CARPOOL SHALL BE IMPLEMENTED BY CONTRACTOR TO COMPLY IF APPLICABLE FOR ANY POSSIBLE CONSTRICTED SITE SITUATION DURING CONSTRUCTION BEYOND PREDICTIONS TO CURRENT PREPLANNING OF STAGING SHOWN.
5. TRAVEL ROUTES AND LOADING/UNLOADING AREAS ARE SHOWN PER PLANS FOR ANY MAJOR EXCAVATION EQUIPMENT OR TRACTOR TRAILER COMBINATIONS USED AT THE CONSTRUCTION SITE. IF DIFFERENT THAN SHOWN, CONTRACTOR SHALL IMPLEMENT ADDITIONAL PRE-MEASURES AND SECURE WITH CITY STAGING STRATEGY



UPPER STAGE 1 DESIGNATION



LOWER STAGE 2 DESIGNATION

PORTABLE RESTROOM -
SEE LOWER STAGING #2
PHOTO REFERENCE AT LEFT
SIDE OF THIS PAGE FOR
VISUAL

(E) CONCRETE PAD
CONSTRUCTION MATERIAL
STOCK PILE & STORAGE
(330 SF) AREA -SEE LOWER
STAGING AREA #2 PHOTO
REFERENCE AT LEFT SIDE OF
THIS PAGE FOR VISUAL

IF NECESSARY, LOWER POINT
OF OPTIONAL TEMPORARY
CONSTRUCTION SITE ACCESS
FOR TRACTOR EQUIPMENT
UTILIZING (E) SLOPE AS
DEFINING A NARROW RAMP
AT HILL SIDE TO THE
IMMEDIATE WORK INVOLVED
AT THIS SIDE

IF NECESSARY, UPPER POINT
OF OPTIONAL TEMPORARY
CONSTRUCTION SITE ACCESS
FOR TRACTOR EQUIPMENT
UTILIZING (E) SLOPE AS
DEFINING A NARROW RAMP
AT HILL SIDE TO THE
IMMEDIATE WORK INVOLVED
AT THIS SIDE

UPPER POINT OF ACCESS TO
CONSTRUCTION SITE UTILIZING
(E) PATHWAY AS RAMP

TEMPORARY CONSTRUCTION
EQUIPMENT PARKING OF 200
SF- SEE UPPER STAGING
PHOTO REFERENCE AT LEFT
SIDE OF THIS PAGE FOR
VISUAL

CONSTRUCTION WORKERS PARKING OF 900
SF AREA-SEE UPPER STAGING PHOTO #1
REFERENCE AT LEFT SIDE OF THIS PAGE FOR
VISUAL TO PARKING AVAILABLE

ASSUMED TRASH
DUMPSTER LOCATION

(E) 2-CAR DRIVEWAY; NOTE-
ONE STALL USED FOR
CONSTRUCTION MATERIAL
STOCK PILE STORAGE (260
SF) AREA -SEE UPPER
STAGING PHOTO REFERENCE
AT LEFT SIDE OF THIS PAGE

LEGEND

DEMARCATION OF STAGING
AREA AS NOTED ON PLANS

CONSTRUCTION STAGGING SITE PLAN

SCALE: 1/8"=1'-0"



Contractor shall exercise the responsibility with architect in securing latest approved drags, prior to executing any work

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architect

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Proposed Pool
construction
staging

OWNER/SITE ADDRESS:
Semira Khashaie
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Laguna Beach, CA 92651
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DRAWN
5
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5
DATE
SEE REVISION BOX ABOVE FOR DATE
SCALE
AS NOTED ON PLANS
JOB NO.
SHEET

1 A-1.2

1 OF (REF TO NEXT) SHEETS



SHEET

3

A-2

1 OF 10 SHEETS

SITE PLAN NOTES

- POOL FENCE, POOL DECK, POOL DRAINAGE AND POOL EQUIPMENT ARE NOT IN CONTRACT AS IS SHOWN DIAGMATICALLY: POOL CONTRACTOR SHALL SECURE SEPARATE PERMITS WITH CITY PRIOR TO WORK. REFER TO POOL CONTRACTOR DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN FOR ENGINEERING EQUIPMENT, PLUMBING/ELECTRICAL LINES ABOVE AND BELOW GROUND AND OTHER POOL UTILITY INFRASTRUCTURE -SEPARATE DRAWINGS TO BE PROVIDE TO CITY AS DEFERRED ITEMS.
- REFER TO CIVIL SITE DRAWINGS FOR DEMOLITION AND PROPOSED WORK FOR ADDITIONAL INFORMATION NOT SHOWN -SECURE INSTRUCTION WITH OWNER FOR SITE PROTECTION AND SEQUENCE
- REFER TO LANDSCAPE SHTS FOR PROPOSED PLANTING, WALKWAY PATHS, STACKED ROCK GARDEN WALLS & IRRIGATION INFORMATION NOT SHOWN
- REFER TO SOILS REPORT FOR GEOTECHNICAL REQUIREMENTS OF PROPOSED WORK- BOTH GENERAL CONTRACTOR AND POOL CONTRACTOR SHALL COORDINATE WITH SOIL ENGINEER OF ANY ENGINEERING DESIGN OR FIELD ISSUES OF DISCREPANCIES THAT MAY BE IN CONFLICT.
- REGRADING SHALL HOLD 2% FALL AWAY FROM DWELLING INTO LOW POINT DRAINS. MANIPULATE GRADES/PAVING FOR UNIFORM SLOPE TO DRAINAGE TO CARRY ALL WATER AWAY FROM THE BUILDING AND OTHER PARTS OF LOT ONTO PUBLIC STREETS PER LOCAL CODES. WHERE THE BALANCE OF SLOPES MENTIONED ABOVE CANNOT BE ACHIEVE TO PROVIDE UNDERGROUND DRAINS & INLETS TO ASSURE POSITIVE DRAINAGE FLOW. REFER TO CIVIL SHEETS AND REVIEW WITH CIVIL ENGINEERING THE FINDINGS IN FIELD PRIOR TO COMMENCING WORK FROM BOTH SURFACE AND UNDERGROUND.
- POOL AND/OR SPA SHALL BE COMPLETELY ENCLOSED BY 5' MINIMUM HIGH FENCING AND GATES WITH NO OPENINGS GREATER THAN 4". GATES TO BE SELF-CLOSING AND SELF-LATCHING WITH LATCH A MINIMUM OF 5 HIGH AND MUST BE SWINGING OUTWARD. ANY WALLS OF RESIDENTIAL STRUCTURE OR ACCESSORY STRUCTURE USED TO COMPLETE THE ENCLOSURE SHALL HAVE DOOR OPENINGS EQUIPPED WITH EXIT ALARMS OR HAVE A SELF-CLOSING, SELF LATCHING DEVICE 54" MINIMUM ABOVE THE FLOOR PER COMPLIANCE WITH LBMC §25.50.016 AND LBMC §25.50.012(A) - SEE DETAILS OF SHEET A-3 FOR SPECS/COLORS
- PER COUNTY OF ORANGE ORDINANCE NUMBER 19-006, A SECONDARY POOL BARRIER CONSISTING OF EITHER REMOVABLE MESH FENCE LOCATED MORE THAN 20" FROM THE WATER EDGE WITH SELF-CLOSING, SELF-LATCHING GATE THAT CAN ACCOMMODATE A KEY LOCKABLE DEVICE, A SAFETY POOL COVER, A POOL ALARM FOR ENTRANCE INTO THE WATER, OR OTHER MEANS WITH GREATER PROTECTION AS APPROVED BY THE BUILDING OFFICIAL IS REQUIRED.
- POOL EQUIPMENT NOT TO EXCEED NOISE LEVEL REQUIRED BY LAGUNA BEACH MUNICIPAL CODE SECTION 7.25.040 EXTERIOR NOISE STANDARDS.
- SPECIAL INSPECTION IS REQUIRED ON POOLS/SPAS DURING GUNITE OR SHOTCRETE PLACEMENT IN ACCORDANCE WITH 2022 CBC SECTIONS 1705.3, 1908 AND TABLE 1705.3.
- CONCRETE, GUNITE AND SHOTCRETE USED IN POOLS/SPAS CONSTRUCTION SHALL BE RESISTANT TO SULFATES PER 2022 CBC CHAPTER 19 AND ACI 318 TABLE 19.3.1.1. USE FBC=4500 PSI 28-DAY COMPRESSIVE STRENGTH WITH TYPE V CEMENT (MAXIMUM WATER/CEMENT RATIO = 0.45 PER ACI TABLE 19.3.2.1) UNLESS OTHERWISE SPECIFY BY SOIL REPORT.
- PRIOR TO STEEL INSPECTION, BUILDING INSPECTION WILL REQUIRE A MEMO FROM THE SOIL/GEOTECHNICAL ENGINEER STATING, POOL EXCAVATION IS SUITABLE FOR THE SUPPORT OF THE STRUCTURE AND THE DESIGN ASSUMPTIONS ARE CONSIDERED ADEQUATE.
- POOL/SPA WATER HEATER AND GAS PIPING INSTALLATION TO BE IN CONFORMANCE WITH THE 2022 CPC AND ALL ELECTRICAL SHALL BE IN CONFORMANCE WITH THE 2022 CEC. VERIFY EXISTING GAS LINES AND ELECTRICAL METERS AND POINT OF CONNECTIONS ARE ADEQUATE FOR DEMANDS ON EXISTING SYSTEM AS POOL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY IN ADVANCE TO SECURE THE SERVICES ARE ADEQUATE.
- POOL SHELL AND PERIMETER PAVED, AND UNPAVED SURFACES SHALL BE BONDED IN ACCORDANCE WITH CEC 680.26(B). BONDING TO PERIMETER SURFACES SHALL BE PROVIDED AS SPECIFIED IN CEC 680.26(B)(2)(A) OR (2)(B) AND SHALL BE ATTACHED TO THE POOL REINFORCING STEEL OR COPPER CONDUCTOR GRID AT A MINIMUM OF FOUR (4) POINTS UNIFORMLY SPACED AROUND THE PERIMETER OF THE POOL.
- POOL RETURNS: TWO RETURN DRAINS REQUIRED, ONE DRAIN AT THE BOTTOM AND ONE DRAIN AT THE SIDE 2" WITHIN BOTTOM, MINIMUM 4" APART WITH ANTI-VORTEX COVERS.
- CONTRACTOR IS ADVISED TO REFER TO SECTION 115928 OF THE CALIFORNIA HEALTH AND SAFETY CODE FOR PROPER INSTALLATION OF THE POOL DRAIN SYSTEM. ALL DRAINS, GRATES, PROTECTIVE DEVICES & SKIMMER COVER FOR SWIMMING POOLS/SPAS MUST BE APPROVED BY THIS AGENCY PRIOR TO INSTALLATION.
- ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND IN ACCORDANCE WITH THE CITY OF LAGUNA BEACH REGULATIONS. ANY POOL OR SPA HEATING SYSTEM OR EQUIPMENT SHALL BE INSTALLED ONLY IF THE MANUFACTURER HAS CERTIFIED THE SYSTEM PER 2022 CALIFORNIA ENERGY CODE SECTION 110.4. COVER SHALL BE INSTALLED IF OUTDOOR POOL/SPA HAS A HEAT PUMP OR GAS HEATER.
- GLAZING WITHIN 5' OF WATER EDGE SHALL BE TEMPERED.
- IN LIFETIME OF POOL, THE POOL WILL BE COVERED WHEN NOT IN USE AND THAT AN AUTOMATIC FILL DEVICE WILL NOT BE USED.
- FOR CONTINUATION TO ADDITIONAL SITE NOTES NOT SHOWN ON THIS PAGE, SEE SHEET A-1

(N) HERB & VEGETABLE GARDEN AT 6 PLACES OF 4'-0" X 7'-6" RAISED PLANTER BOX ON GRAVITY RESTED LEVELING STONE (RAISED STONE CURB NOT TO EXCEED 30" IN HEIGHT) SEE LANDSCAPE PLAN FOR ALL 5 LOCATIONS NOT SHOWN ON THIS PLAN - SEE LANDSCAPE PLANS

(N) 5' HI LOCKABLE SAFETY GATE- SAFETY ACCESS DETERRENT

5' HIGH ROD-IRON POOL SECURITY FENCE (TYP WHEN SHOWN)

(N) POOL EQUIPMENT ON CONCRETE SLAB STEP DOWN 7" INTO EQUIP PAD AREA- REFER TO POOL CONTRACTOR DRAWINGS FOR EQUIPMENT AND ARRANGEMENT -SEE NOTE 2 OF SHT A-1 "PLANNING DEPT. NOTES"

EXTENT OF 5' HIGH ROD-IRON POOL SECURITY FENCE

12" SQ. CMU POST @ 44" HIGH W/ PRECAST STONE CLAD AND PRECAST STONE CAP (TYPICAL AT CORNERS AND ENDS FOR GLASS/GUARDRAIL TERMINATION

(N) 36" OVERHANG DECK SETBACK BEYOND (RETAINING WALL LOCATION) SHOWN AS DASHED LINE BELOW DECK; DECK IS ALLOWED TO OVERHANG 20% WITHIN THE 10' SETBACK AS PLAN PROVIDES 12" INTO THE SETBACK PORTION

(N) GAS FIRE PIT AT DECK LEVEL -SEE NOTE 3 OF SHT A-1 "PLANNING DEPT. NOTES" -TYPICAL AT 2 LOCATIONS

(N) 42" GLASS GUARDRAIL PER DETAIL 3/D-3

(N) 42" GLASS GUARDRAIL SETBACK LINE (REF) PROPERTY LINE (REF)

LOWER 24" DEPRESSED GUTTER TO INTERCEPT POOL EDGE ABOVE, SEE CIVIL DRAWINGS FOR TROUGH PROFILE

5' TALL DOLPHIN STATUE SALVAGED FROM SITE (SUGGESTIVE LOCATION AS VERIFY ACTUAL LOCATION W/ OWNER) LOOP WATER FROM POOL CIRCULATION AS WATER FEATURE- REFER TO POOL CONTRACTOR DRAWINGS

(N) FIRST TIER (3' HIGH GARDEN WALL) "ALLAN BLOCK SEGMENT INTERLOCK SYSTEM" TO KEEP UPPER WALL AT LOWER HEIGHT- VERIFY PROFILE PER CIVIL DRAWINGS

(N) INFINITY POOL EDGE (WATER LEVEL LEDGE)

(N) SECOND TIER (3' HIGH RETAINING WALL) "ALLAN BLOCK SEGMENT INTERLOCK SYSTEM" TO KEEP UPPER WALL AT LOWER HEIGHT- VERIFY PROFILE PER CIVIL DRAWINGS

(N) 42" GLASS GUARDRAIL PER DETAIL 3/D-3

(N) 7'-12" OVERHANG DECK SETBACK BEYOND (RETAINING WALL LOCATION) SHOWN AS DASHED LINE BELOW DECK

5' HIGH ROD-IRON POOL SECURITY FENCE, ENCLOSING STAIR FROM ABOVE DECK AS SHOWN- SEE CIVIL

LANDING EXITS ONTO MEETING GRADE FOR SIDE YARD ACCESS

STEP DOWN RETAINING WALL UNTIL IT TERMINATES 8" ABOVE GRADE

(N) STAINLESS STEEL SINK ON BUILT-IN CUSTOM 36" HIGH COUNTER TOP

(N) STAINLESS STEEL BBQ UNIT AND LOWER DRAWERS ON BUILT-IN CUSTOM 36" HIGH COUNTER TOP SEE NOTE 3 OF SHT A-1 "PLANNING DEPT. NOTES"

SHOWER HEAD AGAINST WALL

(N) WALL MOUNT PRECAST WATER FEATURE TO PRODUCED WHITE SOUND- SEE NOTE 1 OF SHT A-1 "PLANNING DEPT. NOTES" -TYPICAL AT 4 LOCATIONS

5' HIGH ROD-IRON POOL SECURITY FENCE AT TOP OF RETAINING WALL

REPLACE AND RESTORE LANDSCAPING FROM CONSTRUCTION WORK, SEE LANDSCAPE PLANS FOR ADDITIONAL NOTES IF APPLICABLE

(E) STEPPING STONE PATHWAY TO REMAIN -SEE LANDSCAPE PLANS

(N) 5' HIGH CONCRETE RETAINING WALL

ROD-IRON FENCE SLOPES UPWARD FROM 5' HIGH TO 8' HIGH FROM TOP OF RETAINING WALL AS STAIR GUARDRAIL PROTECTION- SEE DET. 1, SHT A-2.2

(E) CYPRESS TREE TO REMAIN

REMOVE (E) PONY WALL (3'-2") GUARDRAIL PORTION FOR OPENING ACCESS TO (N) STAIR ADDITION -PROVIDE (N) 5' HI LOCKABLE SAFETY ROD IRON GATE AS AN SAFETY ACCESS DETERRENT

FOR CONTINUATION OF PLAN NOT SHOWN ON THIS PAGE SEE SHEET A-2

LEGEND

- (N) OVERHANGING DECK CANTILEVER ABOVE LANDSCAPE
- (N) FLAGSTONE DECK O/ (N) REINFORCED CONCRETE SLAB
- (N) POOL OR SPA
- (E) CONTOUR GRADES
- (N) GUARDRAIL
- (N) PRECAST POOL OR SAUNA EDGE

PLANNING DEPT NOTES

- 1) Landscaped Open Space: Proposed Landscaping shall comply with LBMC §25.10.008(0) w/ required minimum of 25.72% ground-to-sky landscaped open space or landscaped area per sheet A-1.1 "SUMMARY TABLE".

Contractor shall exercise the responsibility with architect in securing latest approved drags. prior to executing any work

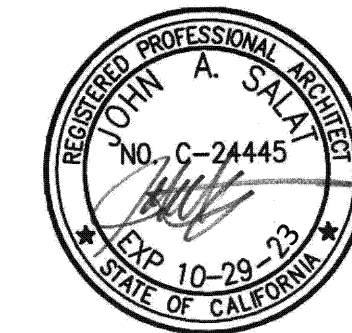
REVISIONS		NO.
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3	DRB CITY SET	6-26-23
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architect

Kashi Residence
Proposed Pool

OWNER/SITE ADDRESS:
Semira Khashaiei
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Laguna Beach, CA 92651
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A-2.1

ELECTRICAL/PLUMBING NOTES

GENERAL ORDINANCES (PLUMBING & ELECTRICAL)

- POOL DRAINAGE AND POOL EQUIPMENT ARE NOT IN CONTRACT AS IS SHOWN DIAGRAMMATICALLY FOR GENERAL PLACEMENT: POOL CONTRACTOR SHALL SECURE SEPARATE PERMITS WITH CITY PRIOR TO WORK. REFER TO POOL CONTRACTOR DRAWINGS FOR ADDITIONAL INFORMATION NOT SHOWN FOR ENGINEERING EQUIPMENT, SIZING PLUMBING/ELECTRICAL LINES BELOW GROUND AND OTHER POOL UTILITY INFRASTRUCTURE LOCATIONS -SEPARATE DRAWINGS TO BE PROVIDE TO CITY AS DEFERRED ITEMS.
- REFER TO LANDSCAPE SHTS FOR PROPOSED IRRIGATION INFORMATION NOT SHOWN ON PLANS
- FOR UNDERGROUND DRAINS & INLETS TO ASSURE POSITIVE DRAINAGE FLOW. REFER TO CIVIL SHEETS PRIOR TO COMMENCING DRAINAGE WORK FROM BOTH SURFACE AND UNDERGROUND.
- POOL EQUIPMENT NOT TO EXCEED NOISE LEVEL REQUIRED BY LAGUNA BEACH MUNICIPAL CODE SECTION 7.25.040 EXTERIOR NOISE STANDARDS.
- POOL/SPA WATER HEATER AND GAS PIPING INSTALLATION TO BE IN CONFORMANCE WITH THE 2019 CPC AND ALL ELECTRICAL SHALL BE IN CONFORMANCE WITH THE 2019 CEC. VERIFY EXISTING GAS LINES AND ELECTRICAL METERS AND POINT OF CONNECTIONS ARE ADEQUATE FOR DEMANDS ON EXISTING SYSTEM AS POOL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY IN ADVANCE TO SECURE THE SERVICES ARE ADEQUATE.
- POOL: TWO RETURN DRAINS REQUIRED, ONE DRAIN AT THE BOTTOM AND ONE DRAIN AT THE SIDE 2"WITHIN BOTTOM, MINIMUM 4"APART WITH ANTI-VORTEX COVERS.
- CONTRACTOR IS ADVISED TO REFER TO SECTION 115928 OF THE CALIFORNIA HEALTH AND SAFETY CODE FOR PROPER INSTALLATION OF THE POOL DRAIN SYSTEM. ALL DRAINS, GRATES, PROTECTIVE DEVICES & SKIMMER COVER FOR SWIMMING POOLS/SPAS MUST BE APPROVED BY LOCAL AGENCY PRIOR TO INSTALLATION.
- ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND IN ACCORDANCE WITH THE CITY OF LAGUNA BEACH REGULATIONS. ANY POOL OR SPA HEATING SYSTEM OR EQUIPMENT SHALL BE INSTALLED ONLY IF THE MANUFACTURER HAS CERTIFIED THE SYSTEM PER 2019 CALIFORNIA ENERGY CODE SECTION 110.4. COVER SHALL BE INSTALLED IF OUTDOOR POOL/SPA HAS A HEAT PUMP OR GAS HEATER.

DIVISION 15 - MECHANICAL/PLUMBING

ALL GOVERNING CODES FOR THIS PROJECT ARE AS FOLLOWS:
2019 CALIFORNIA RESIDENTIAL (CRC), ELECTRICAL (CEC), MECHANICAL (CMC), CODE (EES) & PLUMBING (CPC),2019 CALIF. ENERGY EFFICIENCY STANDARDS CODES WITH LOCAL AMENDMENTS INCLUDING CALIFORNIA GREEN CODE 2019 AND 2019 ENERGY CODE (T-24)

POOL EQUIPMENT PLUMBING/ELECTRICAL LIST

REFER TO POOL CONTRACTOR SHOP DRAWINGS

DIVISION 15 - PLUMBING

ALL EXISTING PLUMBING FIXTURES MUST BE UPGRADED PURSUANT TO CALIFORNIA CIVIL CODE, SECTIONS 1101.1 - 1101.8 TO COMPLY WITH THE FOLLOWING CONSUMPTION LIMITS:

- ANY TOILET MANUFACTURED TO USE MORE THAN 1.6 GALLONS OF WATER PER FLUSH.
- ANY URINAL MANUFACTURED TO USE MORE THAN ONE GALLON OF WATER PER FLUSH.
- ANY SHOWER HEAD MANUFACTURED TO HAVE A FLOW CAPACITY OF MORE THAN 2.5 GALLONS OF WATER PER MINUTE.
- ANY INTERIOR FAUCET THAT EMITS MORE THAN 2.2 GALLONS OF WATER PER MINUTE

NOTE TO CONTRACTOR: A COMPLETED AFFIDAVIT MAY BE PROVIDED TO THE BUILDING INSPECTOR AT OR BEFORE FINAL IN LIEU OF INSPECTIONS OF THESE FIXTURES AS NEW AND EXISTING BOTH MUST COMPLY TO CHART BELOW.

MAXIMUM FLOW RATE STANDARDS INDOOR WATER USE -CGRSC 4.303 RATE TO TABLE 4.303.2:

IRRIGATION

IRRIGATION: REFER TO LANDSCAPE PLANS FOR NOTES AND OR DRAWINGS NOTE SHOWN ON THIS PAGE

DIVISION 16 - ELECTRICAL

- ALL GOVERNING CODES FOR THIS PROJECT ARE AS FOLLOWS:
2019 CALIFORNIA RESIDENTIAL (CRC), ELECTRICAL (CEC), MECHANICAL (CMC), CODE (EES) & PLUMBING (CPC),2019 CALIF. ENERGY EFFICIENCY STANDARDS CODES WITH LOCAL AMENDMENTS INCLUDING CALIFORNIA GREEN CODE 2019 AND 2019 ENERGY CODE (T-24)
- ALL ELECTRICAL WORK SHALL COMPLY WITH STATE CALIFORNIA ENERGY REGULATIONS (2019 ENERGY EFFICIENCY STANDARDS)
- IF THE USE OF DIRECT-BURIAL UNDERGROUND FEEDER CABLE IS USED THAT IS NOT LOW VOLTAGE, TRENCH AT MINIMUM 36-INCHES DEEP (OR MORE). PROVIDE PVC CONDUIT AT DEPTHS LESS INCLUDING VERTICAL FEEDS STARTING AT LESS THAN 36 INCHES PER CHAPTER 3 CEC CODE
- ANY FIXED APPLIANCE WITH 1/4 H.P. MOTOR OR LARGER, SHALL BE ON A SEPARATE #12 AWG WIRE BRANCH CIRCUIT INDICATING-TYPE SWITCH [CEC 210.23 &220] POOL CONTRACTOR SHALL FIELD VERIFY ELECTRICAL LOAD DEMANDS AND SEE IF EXITING ELETCLAL PANEL CAN BE RETROFITTED TO SUITE NEW WORK.

CONTINUE (DIVISION 16 - ELECTRICAL)

12. LUMINAIRES PROVIDING RESIDENTIAL OUTDOOR LIGHTING FOR 110 V POWER SOURCES SHALL MEET THE FOLLOWING REQUIREMENTS AS APPLICABLE: OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR, TO OTHER BUILDINGS ON THE SAME LOT SHALL MEET THE REQUIREMENT IN ITEM #a) AND THE REQUIREMENTS INITEM #b) SHALL MEET THAT EITHER ITEM TO #b) OR #c) AS FOLLOWS:

- CONTROLLED BY MANUAL ON AND OFF SWITCH THAT DOES NOT GO OVRIDE TO ON THE AUTOMATIC ACTIONS OF THE ITEM #2 OR #3; AND
- CONTROLLED BY PHOTOCELL AND MOTION SENSOR CONTROLS THAT OVRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS OR,
- CONTROL BY ONE OF THE FOLLOWING METHODS:
 - PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL. CONTROLS THAT OVRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVRIDE SHALL AUTOMATICALLY RETURN THE PHOTOCONTROL AND AUTOMATICALLY TIME SWITCH CONTROL TO ITS NORMAL OPERATION WITHIN 6 HOURS. OR
 - ASTRONOMICAL TIME CLOCK, CONTROLS THAT OVRIDES TO ON SHALL NOT BE ALLOWED UNLESS YOU OVRIDE SHALL AUTOMATICALLY RETURN THE ASTRONOMICAL CLOCK TO ITS NORMAL OPERATION WITHIN 6 HOURS AND WHICH IS PROGRAM TO AUTOMATICALLY TURN THE OUTDOOR SWITCH OFF DURING DAYLIGHT HOURS.

13. LANDSCAPE ARCHITECTURAL LIGHTING IS FULLY INTEGRATED AS ONE CENTRAL LOW VOLTAGE SYSTEM; SPECIFIED THROUGH ONE MANUFACTURE BY FX LUMINAIRE HTTPS://WWW.FXL.COM PH 760-591-7383

LIGHTING MAY BE INSTALLED LESS THAN 5' (1.5 M) FROM THE INSIDE WALLS OF THE POOL, SPA, OR FOUNTAIN WHEN USED WITH A UL 379 LISTED TRANSFORMER. INSTALL ALL LUMINAIRES 10 FEET (3.0 M) OR MORE FROM A POOL, SPA, OR FOUNTAIN UNLESS IT IS AN UNDER WATER FIXTURE.

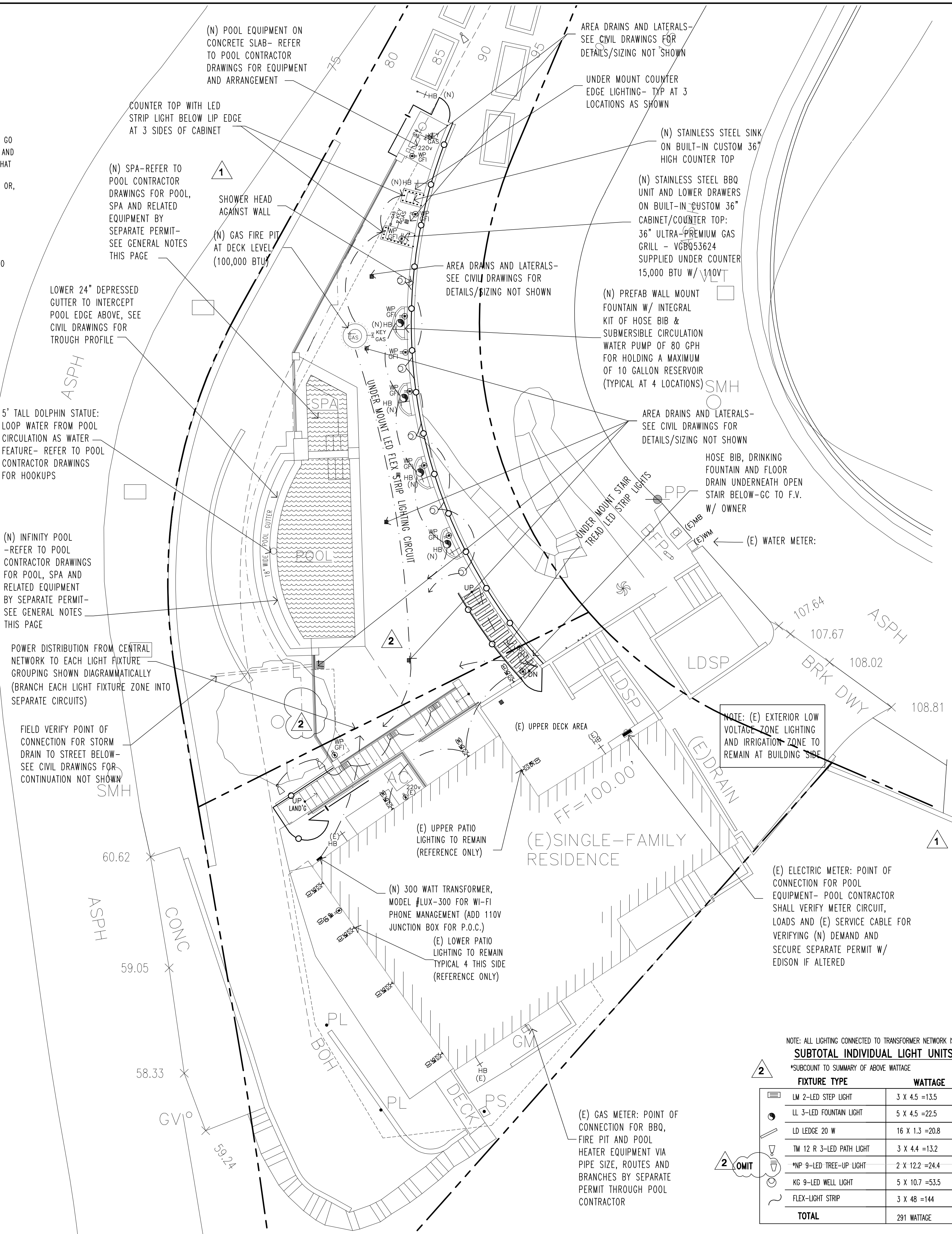
A LUMINAIRE SHALL NOT USE TUNGSTEN HALOGEN LAMPS UNLESS THE LUMINAIRE IS MARKED FOR SUCH LAMPS.

SUPPLY CONNECTION AND ELECTRICAL COMPONENTS ARE LOCATED ABOVE GROUND LEVEL, EXCEPT FOR SECONDARY CORD THAT IS SUITABLE FOR WET LOCATIONS.

LOW VOLTAGE CABLE SHALL: BE PROTECTED BY ROUTING IN CLOSE PROXIMITY TO THE LUMINAIRE OR FITTING, OR NEXT TO A BUILDING STRUCTURE SUCH AS A HOUSE OR DECK. NOT BE BURIED EXCEPT FOR A MAXIMUM 6 INCHES (25 MM) IN ORDER TO CONNECT TO THE MAIN LOW VOLTAGE CABLE. HAVE THE LENGTH CUT OFF SO THAT IT IS CONNECTED TO A CONNECTOR WITHIN 6 INCHES (25 MM) FROM A BUILDING STRUCTURE, A LUMINAIRE, OR FITTING.

IF APPLICABLE TO THIS PROJECT AS WHERE LIGHTING IS NOT LOW VOLTAGE SYSTEMS AUDIBLE TO CENTRAL NETWORK TO PROVIDE HV CUBE VOLTAGE LINE SYSTEM TO MONITOR BY FX LUMINAR MFGR

ALL CIRCUITS ARE DIMMABLE TO CONTROL BRIGHTNESS VIA MAIN CENTRAL CONTROL TRANSFORMER OR BY PHONE APP



LEGEND

- abbreviations**
- MSIPC= MOTION SENSOR W/ INTEGRATED PHOTO CELL UNIT
- MOS= MOTION OCCUPANCE SENSOR
- (E) = EXISTING WL = WET LOCATION RECESSED LIGHT FIXTURE PER NEC 410
- (N) = NEW

- misc mechanical symbols**
- ICE MAKER WATER SUPPLY
RECESSED ICE MAKER CONNECTION w/VALVE
HOSE BIB
HOSE BIB w/ SHUT OFF VALVE
FUEL GAS
GAS LOG LIGHTER KEY
GAS CHECK VALVE
GAS SUPPLY

- misc electrical symbols**
- NOTE: for landscape lightings, see above lighting legend
- DOUBLE RECEPTACLE OUTLET (TAMPER-RESISTANT)
GROUND FAULT INTERRUPT OUTLET PER (CEC 210.8A) (TAMPER-RESISTANT)
DUPLEX OUTLET (1/2 HOT OUTLET) TAMPER-RESISTANT
220 VOLT OUTLET
WATERPROOF GROUND FAULT INTERRUPT OUTLET
OUTDOOR EXTERIOR USE PER (CEC 210-526)
ELECTRIC METER
SINGLE POLE LIGHT SWITCH
3 WAY SWITCH
4 WAY SWITCH
MOTION OCCUP. SENSOR
LED WALL MOUNTED LIGHT FIXTURE
"J" BOX FOR FIXTURE IN ALLOWANCE
LED EXTERIOR LAMP SECURITY NIGHT LIGHT
W/ MOTION CENSORED PHOTO CELL

- low voltage site lighting legend**
- BELOW LANDSCAPE LIGHTING IS BASED ON SPEC TO A FULLY INTEGRATED LOW VOLTAGE SYSTEM BY FX LUMINAIRE (ALL UNITS SHALL BE DIE-CAST ALUMINUM OF WEATHERED IRON FINISH) HTTPS://WWW.FXL.COM PH 760-591-7383 UNLESS NOTED OTHERWISE, (SEE BOTTOM OF PAGE FOR WATTAGE & SHT EP.2 FOR LIGHTING DETAILS)
- QTY SYMBOL
- (3) LM 2-LED DIMMABLE STANDARD BASE LED WALL/STEP LIGHT
- (1) LL 3-LED DIMMABLE UNDERWATER FOUNTAIN LIGHTING NATURAL BRASS
- (16) LD LEDGE 20 W DIMMABLE LIGHT STANDARD BASE INTEGRATED LED FOR OPEN STAIR TREADS (UNDERSIDE MOUNT)
- (3) TM 12 R 3-LED DIMMABLE PATH LIGHT DESIGNER BASE
- (2) NP 9-LED DIMMABLE TREE-UP LIGHT PRO-AIM ADJUSTABLE
- (5) KG 9-LED DIMMABLE WELL LIGHT FLAT FIXTURE TO INTEGRATE FLUSH TO PAVING SURFACE -STEP BACK FIXTURE 12" FROM WALL AND PIVOT/ADJUST LENS TO WASH WALL RATHER THAN SKY
- (4) 12V DIMMABLE FLEX-LIGHT STRIP AT CURVED CONDITIONS OF UNDERSIDE LIP OF FIRE PIT RIM AND UNDER COUNTER LIPS: LED STRIP (EXTERIOR/OUTDOOR GRADE RATING ONLY)- WIRE INTO DEDICATED CENTRAL NETWORK SYSTEM COMPATIBLE TO TRANSFORMER MFGR STANDARDS MODEL DC600 SMD2835 BY "INEXSTATION" OR APPROVED EQUAL

NOTE: ALL LIGHTING CONNECTED TO TRANSFORMER NETWORK IS DIMMABLE FOR LOWERING THE LUMINOSITY
SUBTOTAL INDIVIDUAL LIGHT UNITS COUNT TO ARRIVE AT ABOVE TOTAL SUMMATION

FIXTURE TYPE	WATTAGE	LUMENS	QUANTITY	COMMENTS	DETAIL REF
LM 2-LED STEP LIGHT	3 X 4.5 =13.5	3 X 80 =240	3		DETAIL 5/A-2.2
LL 3-LED FOUNTAIN LIGHT	5 X 4.5 =22.5	5 X 121 =605	5		DETAIL 4/A-2.2
LD LEDGE 20 W	16 X 1.3 =20.8	16 X 74 =1184	16		DETAIL 3/A-2.2
TM 12 R 3-LED PATH LIGHT	3 X 4.4 =13.2	3 X 166 =498	3		DETAIL 7/A-2.2
*NP 9-LED TREE-UP LIGHT	2 X 12.2 =24.4	2 X 751 =1502	2	*shielded (dimmmable)	DETAIL 6/A-2.2
KG 9-LED WELL LIGHT	5 X 10.7 =53.5	5 X 321 =1,605	5		DETAIL 2/A-2.2
FLEX-LIGHT STRIP	3 X 48 =144	37 X 105 =3885	37 LF		DETAIL 8/A-2.2
TOTAL	291 WATTAGE	9,519 LUMENS		SEE DETAIL 1/EP-2 FOR MAIN TRANSFORMER UNIT	

SCALE: 1/8"=1'-0"

Contractor shall exercise the responsibility with architect in securing latest approved drags, prior to executing any work

REVISIONS	NO.
1	DRB INITIAL SET 1-18-23
2	DRB CITY SET 5-15-23
3	DRB CITY SET 6-26-23
4	DRB CITY SET 7-25-23

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architect

Kashi Residence
Proposed Pool
site plumbing/electrical plan

OWNER/SITE ADDRESS:
Semira Khashaiei
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ph (321) 368-1216 Email: malisem@yahoo.com



DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET

EP-1

FXLuminaire

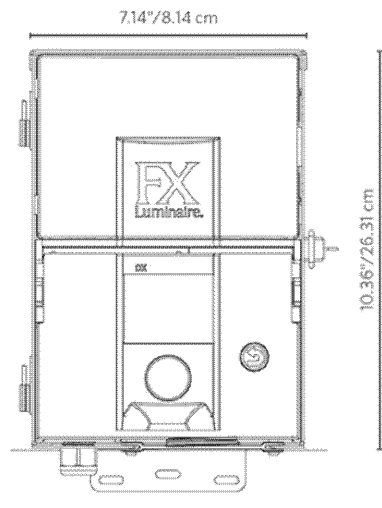
LANDSCAPE ARCHITECTURAL LIGHTING IS FULLY INTEGRATED AS ONE CENTRAL LOW VOLTAGE SYSTEM. SPECIFIED THROUGH ONE MANUFACTURE BY FXLUMINAIRE HTTPS://WWW.FXL.COM PH 760-591-7383



OWNER/SITE ADDRESS:
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ph (321) 368-1216 Email: mcolisem@yahoo.com



date
8-2-22



Quick Facts

- Zone control: Up to 250 individual lighting groups of fixtures
- Astronomical timing
- Color control: Create 30,000 colors per zone
- Compatible with FX Luminaire Designer Series LED fixtures
- Scene/Theme creation: Up to 40 custom lighting themes
- Event-based scheduling
- Wireless control: Optional iOS® and Android™ app
- Calendar-based programming
- Dimming control: Adjust the intensities from 0-100%
- 304 stainless steel and powdercoated galvanized construction
- UL-1838, UL-379 compliant

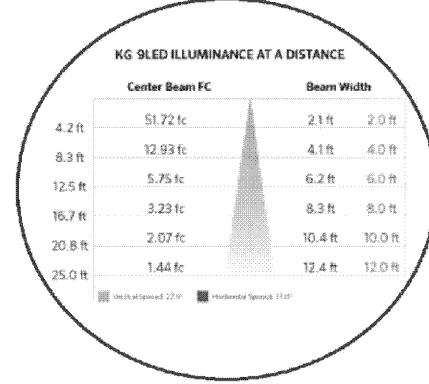
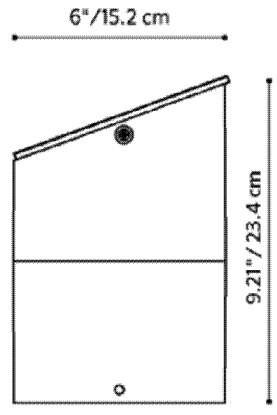
DX Spec Chart

Output	
Power	300 watts
Input Primary	120 volts, 60 Hz
Input Amperage Primary	2.68A
Output Voltage Secondary	12 VAC, 13 VAC, 14 VAC
Maximum Open Circuit Volts	15 VAC
Class	2



TRANSFORMER 1
MAIN NETWORK (POWER)

KG Dimensions

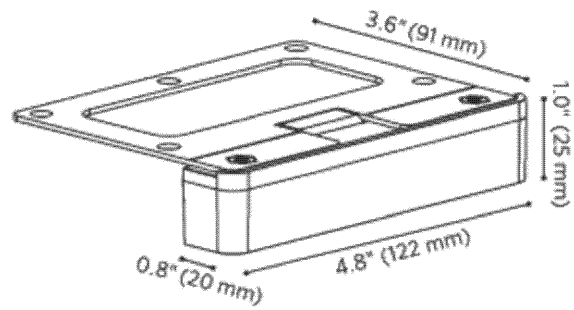


KG Spec Chart

Output	3LED	6LED	9LED	ZDC
Total Lumens [†]	128	265	321	123
Input Voltage	10 to 15V	10 to 15V	10 to 15V	11 to 15V
Input Power (W)	4.2	8.2	10.0	9.1
VA	4.5	9.7	10.7	11.0
Efficacy (Lumens/Watt)	30	32	32	23
Color Rendering Index (CRI)	80+	80+	80+	80+
Center Beam Candlepower*				
Spot (17-20)	408	747	907	166
Dimming	PWM, Phase**	PWM, Phase**	PWM, Phase**	--
RGBW Available	No	No	No	Yes
Luxor Compatibility				
Default	Zoning	Zoning	Zoning	--
ZD Option	Zoning/Dimming	Zoning/Dimming	Zoning/Dimming	--
ZDC Option	--	--	--	Zoning/Dimming/Color
Minimum Rated Life (L90/B10)	55,000 Hrs	55,000 Hrs	55,000 Hrs	55,000 Hrs

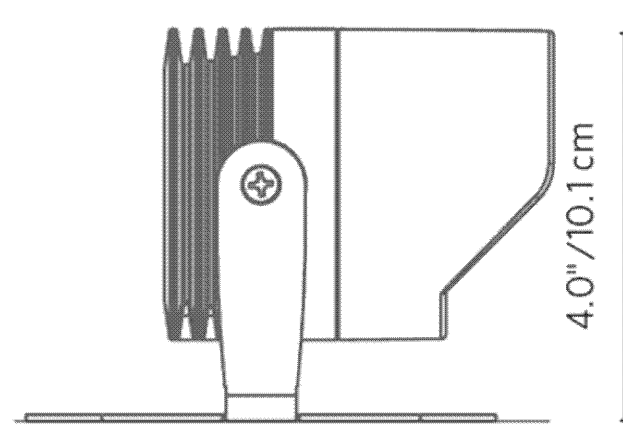
LIGHT DETAIL 2
DEPRESSED WELL

LD Dimensions

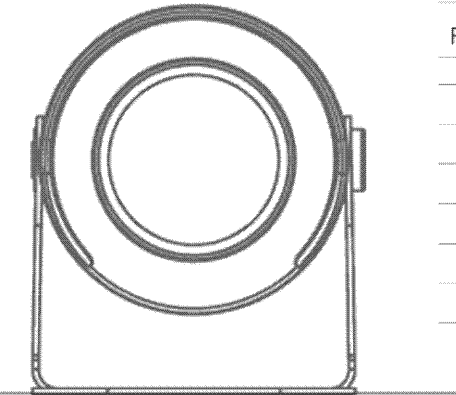


LIGHT DETAIL 3
UNDER COUNTER

LL Dimensions
5.4\"/>



3.2\"/>



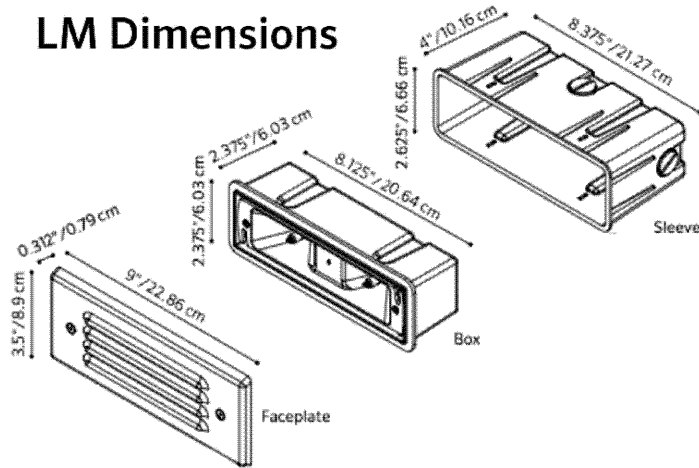
LL 3LED Illuminance at a Distance				
Feet (Meters)	Center Beam	Beam Width		
	Foot-Candle (Lux)	Vertical 21.7"	Horizontal 20.6"	
4' (1.2 m)	30 fc (325 lx)	2' (0.5 m)	2' (0.5 m)	
8' (2.4 m)	8 fc (82 lx)	3' (0.9 m)	3' (0.9 m)	
12' (3.7 m)	3 fc (37 lx)	5' (1.4 m)	4' (1.3 m)	
16' (4.9 m)	1.9 fc (21 lx)	6' (1.8 m)	6' (1.8 m)	
20' (6.1 m)	1.2 fc (13 lx)	8' (2.3 m)	7' (2.2 m)	
24' (7.3 m)	0.8 fc (9 lx)	9' (2.7 m)	9' (2.7 m)	

LIGHT DETAIL 4
SUBMERGE FOUNTAIN

LM Spec Chart

Number of LEDs	2
Halogen Lumens Output Equivalent	20 Watt
Useful LED Life (L70)	50,000 hrs avg
Input Voltage	10 to 15V
VA Total (Use this number to size the transformer)	4.5
Watts Used	4.2
Lumens per Watt (Efficacy)	4
Max Lumens	14
CRI (Ra)	87
CCT	2700K
Amber Filter	

LM Dimensions

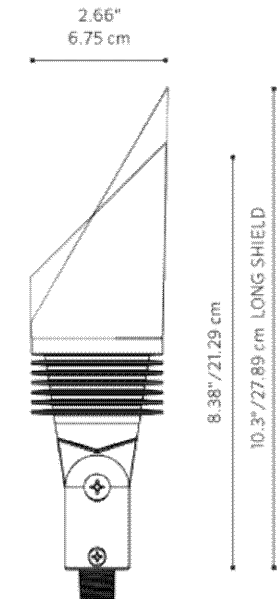


Note: Faceplate width with louver is 0.50"

LM 2LED Illuminance at a Distance			
Distance	Center Beam fc	Beam Width	
Feet (Meters)	Foot-Candles (Lux)	Vertical: 59.7"	Horizontal: 106.7"
1.7' (0.5 m)	0 fc	0.8 ft	1.8 ft
3.3' (1.0 m)	0 fc	1.5 ft	3.5 ft
4.0' (1.2 m)	0 fc	2.3 ft	5.3 ft
	0 fc	3.1 ft	7.1 ft
	0 fc	3.8 ft	8.9 ft
	0 fc	4.6 ft	10.6 ft

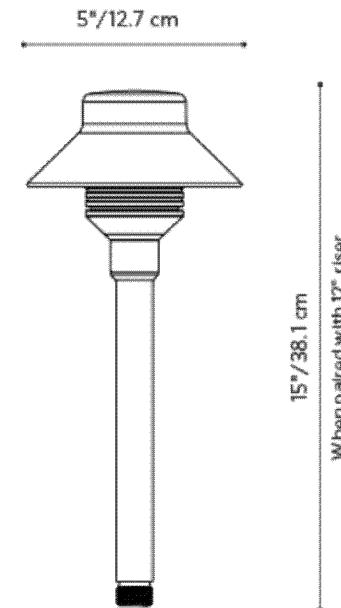
LIGHT DETAIL 5
STEP LIGHT

NP Dimension Chart



NP-9LED Illuminance at a Distance			
Distance	Center Beam fc	Beam Width	
Feet (Meters)	Foot-Candles (Lux)	Vertical: 32.9"	Horizontal: 34.2"
5.0' (1.5 m)	58 fc (622 lx)	3.0 ft (0.9 m)	3.1 ft (0.9 m)
10.0' (3.0 m)	15 fc (156 lx)	5.9 ft (1.8 m)	6.2 ft (1.9 m)
15.0' (4.6 m)	6.4 fc (69 lx)	8.9 ft (2.7 m)	9.2 ft (2.8 m)
20.0' (6.1 m)	3.6 fc (39 lx)	11.8 ft (3.6 m)	12.3 ft (3.7 m)
25.0' (7.6 m)	2.3 fc (25 lx)	14.8 ft (4.5 m)	15.4 ft (4.7 m)
30.0' (9.1 m)	1.6 fc (17 lx)	17.7 ft (5.4 m)	18.5 ft (5.6 m)

TM Dimensions

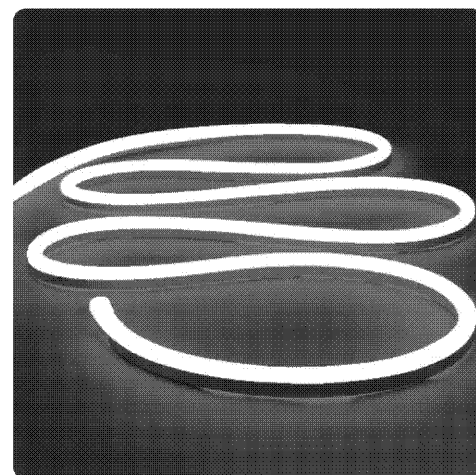


Note: Example model shown has a 12" riser.

TM Path Light - Recommended Spacing					
Footcandles (Lux)	1LED		3LED		
	12" Riser	18" Riser	12" Riser	18" Riser	
0.1 fc (1.1 lx)	10.0' (3.0 m)	12.0' (3.7 m)	12.0' (3.7 m)	15.0' (4.6 m)	
0.3 fc (3.2 lx)	7.5' (2.3 m)	6.0' (1.8 m)	9.0' (2.7 m)	12.0' (3.7 m)	
0.5 fc (5.4 lx)	5.0' (1.5 m)	4.5' (1.4 m)	8.2' (2.5 m)	9.5' (2.9 m)	
0.8 fc (8.6 lx)	3.5' (1.1 m)	3.5' (1.1 m)	7.5' (2.3 m)	7.0' (2.1 m)	
1.0 fc (10.8 lx)	3.0' (0.9 m)	3.0' (0.9 m)	6.5' (2.0 m)	6.0' (1.8 m)	

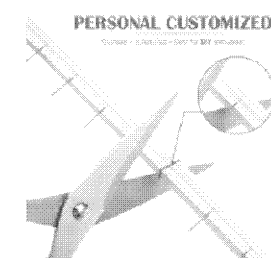
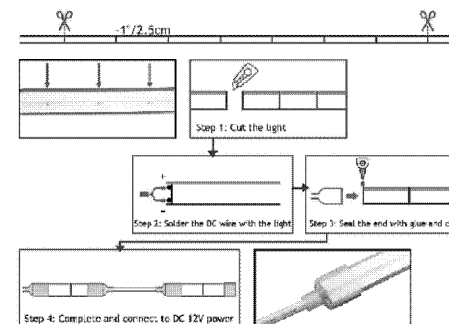
LIGHT DETAIL 7
PEDISTAL PATH LIGHT

Inextstation Neon Led Strip Light 16.4ft/5m 12v Dc 600 Smd2835 Leds



DIY Tips: Cutting and Re-connecting

Total Length: 16.4 ft/5m
Cuttable interval: ~172.5cm



LIGHT DETAIL 8
ROPE LIGHT

NP Spec Chart

Output	9LED
Total Lumens [†]	751
Input Voltage	10 to 15V
Input Power	11.1 W
Power Consumption (VA)	12.2 W
Efficacy (Lumens/Watt)	68
Color Rendering Index (CRI)	83
Center Beam Candlepower*	
Flood (35)	1446
Dimming	
Primary Dimming (Transformer)	Consult transformer specifications
Secondary Dimming (Fixture)	Phase-cut**
RGBW Available	No
Luxor Compatibility	
Default	Zoning
ZD Option	Zoning/Dimming
ZDC Option	--
Minimum Rated Life L70 (Hrs)	72,000

TM Spec Chart

Output	1LED	3LED
Total Lumens [†]	62	166
Input Voltage	10 to 15V	10 to 15V
Input Power	1.9 W	4.0 W
Power Consumption (VA)	2.2 W	4.4 W
Efficacy (lm/W)	34	43
Color Rendering Index (CRI)	85	85
Max Candela	55	91
Dimming		
Primary Dimming (Transformer)	Consult transformer specifications	
Secondary Dimming (Fixture)	Phase-cut**	Phase-cut**
RGBW Available	No	No
Luxor Compatibility		
Default	Zoning	Zoning
ZD Option	Zoning/Dimming	Zoning/Dimming
ZDC Option	--	--
Minimum Rated Life L70 (Hrs)	72,000	72,000

Product information

Technical Details	
Light Source Type	LED
Lumens per foot	105
Power Source	Corded Electric
Color	Purple
Special Feature	Waterproof
Brand	INextStation
Material	Silicone
Number of Light Sources	600
Voltage	12 Volts
Wattage	48 watts
Water Resistance Level	Waterproof
Manufacturer	DXMR
Part Number	LEDUNIPU283501
Item Weight	14 ounces
Package Dimensions	10.51 x 9.25 x 1.22 inches
Special Features	Waterproof
Light Direction	Adjustable

Contractor shall exercise the responsibility with architect in securing latest approved drawings prior to executing any work.

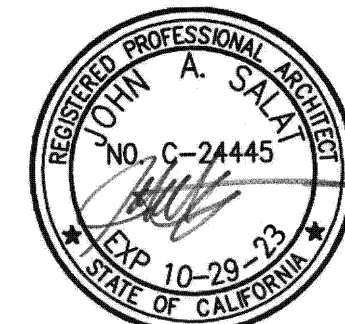
REVISIONS		NO.
1	DRB INITIAL SET	1-18-23
2	DRB CITY SET	5-15-23
3	DRB CITY SET	6-26-23
4	DRB CITY SET	7-25-23

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architect

Kashi Residence
Proposed Pool
site light details

OWNER/SITE ADDRESS:
Semira Khashaiei
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DRAWN

CHECKED

DATE

SEE REVISION BOX ABOVE FOR DATE

SCALE

AS NOTED ON PLANS

JOB NO.

SHEET

2
EP-2

NO SCALE

LIGHT DETAILS (manufacture cut sheets)

- O1 (1) 15 GAL - Avocado - Persea americana 'Lamb Hass' Lamb Hass Avocado
● O2 (1) 15 GAL - Fig - Ficus carcia 'Monandersen' Corky's Honey Delight FIG
● O3 (1) 15 GAL - Lemon - Citrus limon 'Meyer Improved' Meyer Improved Lemon
● O4 (1) 15 GAL - Orange - Citrus Sinensis 'Washington' Washington Naval Orange
● O5 (1) 15 GAL - Plum - Prunus salicina 'Ozark Premier' Ozark Premier Plum
● O6 (1) 15 GAL - Pomegranite - Punicia granatum 'Smith' Angel Red Pomegranite

LD (#) - 1 GAL - Lavandula dentata 'Candicans' - Grey Leaf French Lavender
2-3'H/W; Full Sun
ALTERNATIVE - Rosa x hybrida - Hybrid Tea Rose
3-8'H/2-3'W; Full Sun

M (#) - 1 GAL - Mirabilis californica - Wishbone Bush
2'H/3'W; Full Sun; Spreading & Fill @ tight spaces & rock garden

EXISTING NATURALIZED VEGETATION TO REMAIN -
- Prune to remove dead and dying vegation and improve viability of existing plants, typical

EXISTING CRESTVIEW DRIVE MATURE HEDGE TO REMAIN -
Ligustrum japonicum - Japanese Privet Hedge
To Remain, protect in place except where it is necessary as shown to provide access for construction. Removed portion is to be replaced in kind when construction is complete

HA (#) - 15 GAL - Heteromeles Arbutifolia - Toyon
8-15'H/W, Full Sun - Part Sun/Shade

C-YP (#) - 5 GAL - Ceanothus G. Horizontalis 'Yankee Point' - Yankee Point Ceanothus
2-3'H/6-10'W, plant in mass at 6'OC; Full Sun - Pt. Sun/Shade

RC (#) - 5 GAL - Romneya coulteri - Matilija Poppy
3-6'H/6-8'W spreading; Full Sun - Pt. Sun

S1 S1 - OMIT Salvia greggii 'Furman's Red' - Red Sage

(#) - X GAL - Agave attenuata - Foxtail Agave
3-5'H/W clumping; Sun - Pt. Sun

LD (#) - 1 GAL - Lavandula dentata 'Candicans' - Grey Leaf French Lavender
2-3'H/W; Full Sun

P (#) - 1 GAL - Penstemon 'Margarita' - Margarita Penstemon
1'H/2'W; Full sun

H (#) - 1 GAL - Helianthemum scoparium - Sun Rose
1'H/2'W; Full Sun

MP (#) - 1 GAL - Mimulus puniceus - Red Monkey Flower
2'H/3'W; Full Sun - Pt. Sun/Shade; Low - med water

L = 67.76'
R = 60.30'
Δ = 64° 22' 48"

CONSTRUCTION ACCESS

NEW POOL, POOL DECK, WALLS & CONSTRUCTED
SITE FEATURES ARE BY OTHERS. SEE THE
ARCHITECT'S & ENGINEER'S PLANS

FIRE PIT SEE ARCHITECTURAL
PLANS. SEE NOTE #7 THIS SHEET

POOL

NEW 4' HIGH MAX SEGMENTED WALL BY
ENGINEER. SEE ENGINEER'S PLANS

NEW 3' HIGH MAX SEGMENTED WALL BY
ENGINEER. SEE ENGINEER'S PLANS

CONSTRUCTION ACCESS

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EXISTING NATURALIZED SLOPE VEGETATION TO REMAIN -
- Prune to remove dead and dying vegation and improve viability of existing plants.

B2 (#) - 15 GAL - Bougainvillea 'San Diego Red' - Red Bougainvillea
15-30' spreading; Accent Color: Hot Red @ warm months

C-YP (#) - 1 GAL - Ceanothus G. Horizontalis 'Yankee Point' - Yankee Point Ceanothus
2-3'H/6-10'W, plant in mass at 6'OC and irrigate as necessary to cover grading scars from construction; Full Sun - Pt. Sun/Shade

PLANTING NOTES

1. USDA ZONE: 10; SUNSET ZONE: 22, 23, (24)
2. Each plant is shown on the plan at mature size
3. Minimum plant sizes:
Trees: 15 gallon
Shrubs: 1 gallon
Groundcover: Rooted Cuttings from flats or 1 gal containers
Turf: NA
4. Jute netting required for planting on the slope

5. See PLANTING LEGEND sheet L2

6. The proposed plant material within 10' of the barbeque is NOT listed as an unacceptable target species in fuel modification zones (A, B, C & D) as determined by the LBFD.
7. The proposed plant material within 20' of the fire pits is NOT listed as a target species in fuel modification zones (A, B, C & D) as determined by the LBFD.

IRRIGATION NOTES

1. The automatic irrigation system will be controlled by a 'smart' irrigation controller equipped with a weather station
2. All new plantings on private property will be irrigated with an automatic spray irrigation system or drip where appropriate. New plantings in the ROW will be hand watered.
3. Each valve circuit will provide water to plants that have similar hydration requirements
4. Each circuit will have matched precipitation irrigation heads
5. Where feasible, low flow irrigation heads will be used
6. The system will be designed to avoid overspray

BORDER
(#) - 1 GAL - Ameria maritima 'Bloodstone' - Bloodstone Thrift
8-10'H/12'W Clumping; Full Sun

Phlox X "PPPHL07301" - Paparazzi Angelina Phlox
8-10'H/12-18'W; Full Sun - Pt Sun; H2O: Low

(2) - **EXISTING** MATURE Cupressus sempervirens - Italian Cypress
Cypress #1 & #2 to remain. Protect in place

(1) - **EXISTING** Yucca elephantipes - Spineless Yucca (AKA: Giant Yucca) To remain protect in place

F (#) - 15 GAL - Phormium tenax 'Bronze Baby' - Bronze Baby Flax
2-3'H/W; Full Sun

XF **EXISTING** Phormium tenax 'Bronze Baby' - Bronze Baby Flax
2-3'H/W; Full Sun; To remain

TS (3) - 15 GAL - Tecoma stans 'Bells of Fire Esperanza' - Bells of Fire Esperanza
4-6'H/3-4'W; FLR: Red Orange

(#) - 1 GAL - Anigozanthos 'Everlasting Gold' - Gold Kangaroo Paws
FOL: 2'H/3'W; FLR 3-4'H; Full Sun; FLR: Gold

Anigozanthos flavidus 'Bush Sunset' - Red Kangaroo Paws
FOL: 2-3'H/1-2'W; FLR: 5-6'H Full Sun; FLR: Red/Burg
(Alt. Red Cross, Big Red)

D (#) - 1 GAL - Trachelospermum jasminoides - Star Jasmine
2'H/3-4'W (trailing & climbing) Plant @ 18" - 2'OC; Full Sun - Pt.

E (#) - 5 GAL - Euryops pectinatus 'Munchkin' - Dwarf Euryops
3-4'H/W; Full Sun

(1) - **EXISTING** MATURE Cupressus sempervirens - Italian Cypress
TO BE REMOVED

(#) - 5 GAL - Aloe arborescens - Tree Aloe
6-8'H/W clumping; Sun - Pt. Sun

(#) - 1 GAL - Senecio mandraliscae - Blue Chalksticks
2'H/2-3'W; Full Sun

R (#) - 5 GAL - Rosmarinus officinalis 'Prostratus' - Dwarf Rosemary
2'H/4-8'W; Full Sun

CJ (2) - 5 GAL - Camelia japonica 'Nuccio's Bella Rossa' - Nuccio's Bella Rosa Camellia
6-8'H/W (to 20'H w/ age); Part Sun, Filtered Sun - Shade

(#) - Rooted Cuttings & Nurse Crop - Vinca minor - Dwarf Periwinkle
4-8'H/spreading, Plant @ 12"OCW; Full Sun - Shade

PP **EXISTING** - Pinus pinea - Stone Pine to remain. Protect in Place
80'H/40-60'W; Full to Part Sun

See Arborist's recommendations regarding protecting the pine during construction

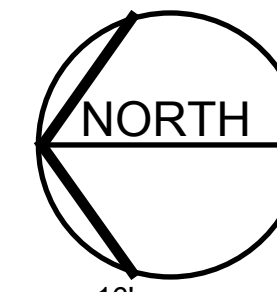
(#) - 5 GAL - Arctostaphylos Uva-Ursi 'Point Reyes' - Point Reyes
Bearberry; 12"-18"H/4-6'W, plant in mass @ 4' - 5' OC; Full Sun - Shade;

Will grow under pine; LBFD: not within 20' of house

(#) - Vinca minor - Dwarf Periwinkle - Rooted Cuttings Nurse Crop
4-8'H/spreading, Plant @ 12"OCW; Full Sun - Shade

(#) - 5 GAL - Arctostaphylos Uva-Ursi 'Point Reyes' - Point Reyes
Bearberry; 12"-18"H/4-6'W, plant in mass @ 4' - 5' as necessary to cover grading scars from construction; Full Sun - Shade; Generally suitable under pine; LBFD: not within 20' of house

(#) - 15 GAL - Bougainvillea 'Oo-La-La' - Bougainvillea Monka (Dwarf)
3-5'H/W; Full Sun; Accent Color: Magenta Red @ warm months



0 1 2 3 4 5 6 7 8'
0 1' 2' 3'
SCALE: 1/8" = 1'-0"

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ZONING PLAN CHECK REVIEW

CONCEPTUAL
LANDSCAPE PLANTING PLAN

REVISIONS:
△ ZPC REVISION 1
1/27/23
△ ZPC REVISION 2
4/4/23
△ ZPC REVISION 4
7/24/23

Zoning Plan Check
DATE: 7/20/22

L1


SHEET 1 OF 2





SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE SIZE MAINTAINED H & W	NOTES	
ORNAMENTAL - TREES & TALL SHRUBS					
OMIT	ORCHARD TREES				
	Apple – Malus domestica ‘Anna’	Anna Apple	15-30'H/W	Full Sun; Deciduous	☼
● O1	Avocado - Persea americana ‘Lamb Hass’	Lamb Hass Avocado	15-20'H/10-15'W	Full Sun; Self fertile	☼
● O2	Fig - Ficus carcia ‘Monandersen’ *O2-d” Dwarf: Ficus c. ‘Celestial’	Corky’s Honey Delight Fig Celestial Fig	10-12'H/W 5-10'H/W	Full Sun Full Sun)	☼☼
● O3	Lemon - Citrus limon ‘Meyer Improved’ *O3-d” Dwarf: Citris limon ‘Dwarf Meyer Improved” - Dwarf Meyer Improved Lemon	Meyer Improved Lemon	8-10'H/12'W 8-10'H/12'W	Full Sun Full Sun	☼☼
● O4	Orange - Citrus Sinensis ‘Washington’ *O4-d” - Citrus Sinensis ‘Dwarf Washington’ Dwarf Washington Improved Orange	Washington Naval Orange	15-20'H/W 6-8'H/W	Full Sun Full Sun	☼☼
● O5	Plum - Prunus salicina ‘Ozark Premier’	Ozark Premier Plum	10-20'H/W	Full Sun	☼
● O6	Pomegranite - Punicia granatum ‘Smith’ Angel Red Pomegranite		10'H/W	Full Sun; Deciduous	☼

EXISTING ORNAMENTAL TREES & TALL SHRUBS					
X-CS #	Cupressus sempervirens #1 & #2 EXISTING MATURE TREE TO REMAIN	Italian Cypress	60'H/5-10'W	Full Sun	☼
●●	Ligustrum japonicum EXISTING MATURE HEDGE TO REMAIN	Japanese Privit Hedge	10-15'H/5-8'W	Full Sun - Pt Sun	☼☐
PP	Pinus pinea EXISTING MATURE TREE TO REMAIN	Stone Pine to remain See Arborist's recommendations regarding protecting the pine during construction	Unrestricted to 80'H/40-60'W	Full Sun - Pt Sun	☼☐
⊗	Yucca elephantipes EXISTING MATURE PLANT TO REMAIN	Spineless Yucca (AKA: Giant Yucca)	15-30'H/15-25'W	Full Sun	☼

ORNAMENTAL - MEDIUM SHRUBS

B1	⊕	Anigozanthos flavidus ‘SPP’ A. F. ‘Bush Sunset’ (Alt. Red Cross, Big Red) A. F. ‘Everlasting Gold’ (Dwarf Yellow)	Kangaroo Paws (San Marcos - https://www.smgrowers.com/) Red Kangaroo Paws Gold Kangaroo Paws	FOL: 2-3'H/1-2'W; FLR: 5-6'H FOL: 2'H/3'W; FLR 3-4'H	Full Sun; FLR: Red/Burg Full Sun; FLR: Gold	☼☼☐
B2		Bougainvillea B1 (Dwarf) - B. ‘Oo-La-La B2 (Trailing) - B. ‘San Diego Red’	Bougainvillea Monka Red Bougainvillea	3-5'H/W 15-30' spreading	Full Sun; CLR: Magenta Red Full Sun; CLR: Hot Red	☼☼
CJ		Camelia japonica ‘Nuccio’s Bella Rossa’	Nuccio’s Bella Rosa Camellia	6-8'H/W (prunned) (Natural unrestrained: 20'H w/ age)	Part Sun, Filtered Sun - Shade	☐
E		Euryops pectinatus ‘Munchkin’	Dwarf Euryops	3-4'H/W	Full Sun	☼
LD		Lavandula dentata ‘Candicans’	Grey Leaf French Lavender	2-3'H/W	Full Sun	☼
R		Rosmarinus officinalis ‘Prostratus’	Dwarf Prostrate Rosemary	1-2'H/4-8'W	Full Sun	☼
F	⊗	Phormium tenax - Existing to Remain Phormium tenax ‘Bronze Baby’	Flax Bronze Baby Flax	2-3'H/W	Full Sun	☼
TS		Tecoma stans ‘Bells of Fire Esperanza’ (Red Orange)	Bells of Fire Esperanza	4-6'H/3-4'W	Full Sun - Part Sun	☼☐
T		Trachelospermum jasminoides	Star Jasmine	2'H/3-4'W (trailing & clmbing) Plant @ 18" - 2'OC	Full Sun - Pt. Shade	☼☐

SUCCULENTS						
	Agave attenuata	Foxtail Agave	3-5'H/W clumping	Full Sun - Pt. Sun	☼☐	
	Aloe arborescens	Tree Aloe	6-8'H/W clumping	Full Sun - Pt. Sun	☼☐	
	Senecio mandraliscae	Blue Chalksticks	2'H/2-3'W	Full Sun	☼	

ORNAMENTAL - BORDER						
	Ameria maritima 'Bloodstone'	Bloodstone Thrift	8-10"H/12"W Clumping;	Full Sun; H2O: Reg		
	Phlox X "PPPHL07301" (Monrovia)	Paparazzi Angelina Phlox	8-10"H/12-18"W	Full Sun - Pt Sun; H2O: Low		

ORNAMENTAL - GROUNDCOVER						
× × × × × × × × ×	————	Vinca minor	Dwarf Periwinkle	4-8"H/spreading Plant @ 12"OC	Full Sun - Shade	☼◻■

SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE SIZE MAINTAINED H & W	NOTES	
CA NATIVES - TREES & TALL SHRUBS					
HA	Heteromeles Arbutifolia	Toyon	8-15'H/W	Full Sun – Part Sun/Shade	
CA NATIVES - MEDIUM SHRUBS					
C-YP	Ceanothus G. Horizontalis ‘Yankee Point’ – Yankee Point Ceanothus		2-3'H/6-10'W plant in mass at 6-7'OC	Full Sun – Pt. Sun/Shade	☼☐
GS	Galvezia speciosa ‘Firecracker’	Firecracker Bush Snapdragon	2-3'H/W	Full Sun - Pt. Sun/Shade	☼☐
RC	Romneya coulteri	Matilija Poppy	3-6'H/6-8'W spreading	Full Sun - Pt. Sun	☼☐
S1	S1 - OMIT-Salvia greggii ‘Furman’s Red’	Red Sage	3'H/W	Full Sun	☼
S2	S2 - OMIT Salvia leucantha ‘Santa Barbara’	Santa Barbara Sage	2-3'H/3-5'W	Full Sun – Lt Shade	☼☐
CA NATIVES - LOW & LOW SPREADING					
A-U	Archtopstaphylos Uva-Ursi ‘Point Reyes’	Point Reyes Bearberry	12"-18"H/4-6'W Massing @ 4’ – 5’ OC	Full Sun - Shade; <u>Will grow under pine</u> ; LBFD: Not to be planted within 20' of structure	☼☐■
BP	Baccharis Pilularis ‘Twin Peaks’	Twin Peaks Coyote Bush	1'H/5'W Plant in mass @ 4'OC	Full Sun (ALT: 'Pigeon Point')	☼
H	Helianthemum scoparium	Sun Rose	1'H/2'W	Full Sun	☼
CA NATIVES - BORDER, COLORFUL FILL & ROCK GARDEN					
M	Mirabilis californica	Wishbone Bush	2'H/3'W	Full Sun; Spreading & Fill @ tight spaces & rock garden	☼
P	Penstemon ‘Margarita’	Margarita Penstemon	1'H/2'W	Full Sun; Border & tight spaces & rock garden	☼

PLANTING NOTES

- USDA ZONE: 10; SUNSET ZONE: 22, 23, (24)
- Each plant is shown on the plan at mature size
- Minimum plant sizes:
Trees: 15 gallon
Shrubs: 1 gallon
Groundcover: Rooted Cuttings from flats or 1 gal containers
Turf: NA
- Jute netting required for planting on the slope

IRRIGATION NOTES

- The automatic irrigation system will be controlled by a ‘smart’ irrigation controller equipped with a weather station
- All new plantings will be irrigated with an automatic spray irrigation system or drip where appropriate
- Each valve circuit will provide water to plants that have similar hydration requirements
- Each circuit will have matched precipitation irrigation heads
- Where feasible, low flow irrigation heads will be used
- The system will be designed to avoid overspray

ZONING PLAN CHECK REVIEW

FREDERICK THOMAS HUME, FASLA

🏠

📍

📞

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CONCEPTURAL

LANDSCAPE PLANTING

LEGEND

REVISIONS:

🏠 ZPC REVISION 4
7/24/23

Zoning Plan Check

DATE: 7/20/22

L 2

SHEET 2 OF 2

FOR THE
2210 CRESTVIEW DRIVE
LAGUNA BEACH, CA 92651

SITE ADDRESS:
2210 CRESTVIEW DRIVE
LAGUNA BEACH, CA 92651

ARCHITECT:
JOHN A. SALÁT ARCHITECTS
CONTACT: JOHN A. SALAT, A.I.A.
22386 WOODGRAVE ROAD
LAKE FOREST, CA 92630
PHONE: (949) 235-4847
FREEINGWINDS@EARTHLINK.NET

GEOTECHNICAL CONSULTANT:
PETER & ASSOCIATES, INC.
CONTACT: STEPHEN PETER, PE
1519 CALLE VALLE
SAN CLEMENTE, CA 92672
PHONE: (949) 492-3735
FAX: (949) 492-1891
STEVE@PETERASSOC.COM

BENCHMARK:
SEE C-7; BOUNDARY AND TOPOGRAPHIC MAP PREPARED BY
GRAND KNIGHT ENGINEERING, INC



SHEET INDEX	
SHT. NO.	DESCRIPTION
C-1	TITLE SHEET
C-2	DEMOLITION PLAN
C-3	PRECISE GRADING PLAN
C-4	SECTIONS A, B, C
C-5	SECTIONS D, E
C-6	BMP & EROSION CONTROL PLAN
C-7	BOUNDARY/TOPOGRAPHIC MAP
C-8	STAKING PLAN

(CONTRACTOR OF RECORD TO VERIFY EARTH QUANTITIES)

	<u>CUT</u>	<u>FILL</u>	
RAW CUT:	147.29 CY	RAW FILL:	6.92 CY
OVERX:		OVERX. FILL:	
SHRINK(10%)			
IMPORT:		EXPORT:	140.37 CY
TOTAL:	<u>147.29 CY</u>	TOTAL:	<u>147.29 CY</u>

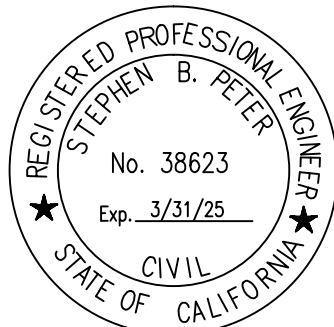
DIAMETER AND DEPTH OF CAISSONS ARE ASSUMED 2'-FT AND 20'-FT, RESPECTIVELY.
NOTE: EARTHWORK CALCULATED FOR ESTIMATING PURPOSES ONLY.
CONTRACTOR SOLELY RESPONSIBLE TO VERIFY ACCURACY OF ALL QUANTITIES.

THIS GRADING PLAN HAS BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AS OUTLINED IN THE FOLLOWING SOILS REPORT FOR THIS PROJECT:

DATED: AUGUST 11, 2021 JOB NUMBER: 21G21106

FIRM NAME: PETER & ASSOCIATES, INC.


BY: STEPHEN B. PETER, PE DATE: 01/17/2023



ENG:

PREPARED BY OR UNDER DIRECTION OF:

STEPHEN B. PETER DATE



EROSION CONTROL NOTES:

1. TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15TH TO MAY 15TH.
2. EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15TH AND MAY 15TH.
3. BETWEEN OCTOBER 15TH AND MAY 15TH, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
4. TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.

1. A PRE-GRADING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.
2. A PRE-PAVING MEETING SHALL BE SCHEDULED 48 HOURS PRIOR TO START OF THE SUB-GRADE PREPARATION FOR THE PAVING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, PAVING CONTRACTORS, DESIGN CIVIL ENGINEER, SOILS ENGINEER, CITY BUILDING INSPECTOR OR THEIR REPRESENTATIVES. REQUIRED FIELD INSPECTIONS WILL BE OUTLINED AT THE MEETING.

1. GRADED SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
2. FILL SLOPES SHALL BE COMPACTED TO NO LESS THAN 90 PERCENT RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
3. ALL FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD 1557, AND APPROVED BY THE SOILS ENGINEER. COMPACTION TESTS SHALL BE PERFORMED APPROXIMATELY EVERY TWO FEET IN VERTICAL HEIGHT AND OF SUFFICIENT QUANTITY TO ATTEST TO THE OVERALL COMPACTION EFFORT APPLIED TO THE FILL AREAS.
4. AREAS TO RECEIVE FILL SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED AND APPROVED BY THE SOILS ENGINEER PRIOR TO PLACING OF THE FILL.
5. FILLS SHALL BE KEYED OR BENCHED INTO COMPETENT MATERIAL.
6. ALL EXISTING FILLS SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY ADDITIONAL FILLS ARE ADDED.
7. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACKFILLED AND APPROVED BY THE SOILS ENGINEER.

PROJECT SUMMARY TABLES					
USE		ZONE	LOT SLOPE (%)		
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	CONFORMS (yes/no)	
LOT AREA					
LOT WIDTH (AVG.)					
LOT DEPTH (AVG.)					
MAX. BUILDING HEIGHT					
MAX. HEIGHT FROM GRADE					
SETBACKS:					
Front Yard					
Rear Yard					
Side Yard (combined/each)					
LOT COVERAGE (BSC)					
FLOOR AREA RATIO					
LANDSCAPE OPEN SPACE					
IRRIGATED AREA					
PARKING					
DESCRIPTION	EXISTING	PROJECT DATA		TOTAL	REMODEL
LIVING AREA:					
LOWER LEVEL					
UPPER LEVEL					
STORAGE					
TOTAL					
GARAGE					
ELEVATED DECK/TERRACE					
MECHANICAL					
DEMOLITION	EXISTING	REMOVED	REMAINING	DEMO TOTAL %	
ROOF AREA					
FLOOR AREA					
LOWER LEVEL					
UPPER LEVEL					
TOTAL FLOOR + ROOF					
TOTAL EXTERIOR WALL					
SITE WORK					
GRADING (CURB YARDS)	OUTSIDE BUILDING FOOTPRINT	INSIDE BUILDING FOOTPRINT	POOL/SPA	TOTAL	
CUT					
FILL					
NET EXPORT					
IMPERVIOUS SURFACES					
	EXISTING	PROPOSED	EXISTING	% OF LOT AREA PROPOSED	
STRUCTURE					
HARDSCAPE (INCL. DRIVEWAY)					
TOTAL					
POOL/SPA DETAILS					
	DIMENSIONS (L x W x D)			VOLUME/GALLONS	
POOL					
SPA					
TOTAL					
EXTERIOR BUILDING LIGHTING					
EXISTING EGRESS DOORS		PROPOSED EGRESS DOORS			
EXISTING FIXTURE COUNT		PROPOSED FIXTURE COUNT			
FIXTURE TYPE	WATTAGE	LUMENS	QUANTITY	COMMENTS	
TOTAL					
LANDSCAPE LIGHTING					
EXISTING FIXTURE COUNT		PROPOSED FIXTURE COUNT			
FIXTURE TYPE	WATTAGE	LUMENS	QUANTITY	COMMENTS	
TOTAL					
COMBINED TOTAL					

Final Plan/Scene/Planning Drawing Forms – updated 10/2017

7					
6					
5					
4					
3					
2	03/31/23		PER CITY PLAN CHECKS		
1					
NO.	DATE	BY	REVISIONS	APP.	DATE

THE FINISH FLOOR AT
THE FRONT ENTRANCE
ELEVATION: 100.00'



PETER and ASSOCIATES ENGINEERS
GEOLOGISTS &
SURVEYORS, INC.

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WWW.PETERASSOC.COM INFO@PETERASSOC.COM

644-293-14
& 644-293-15

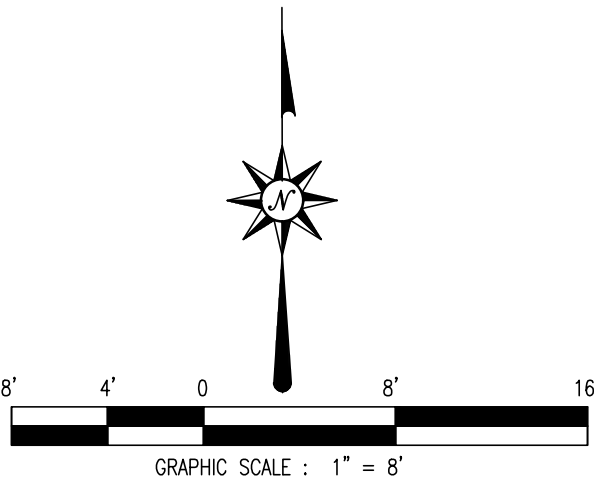
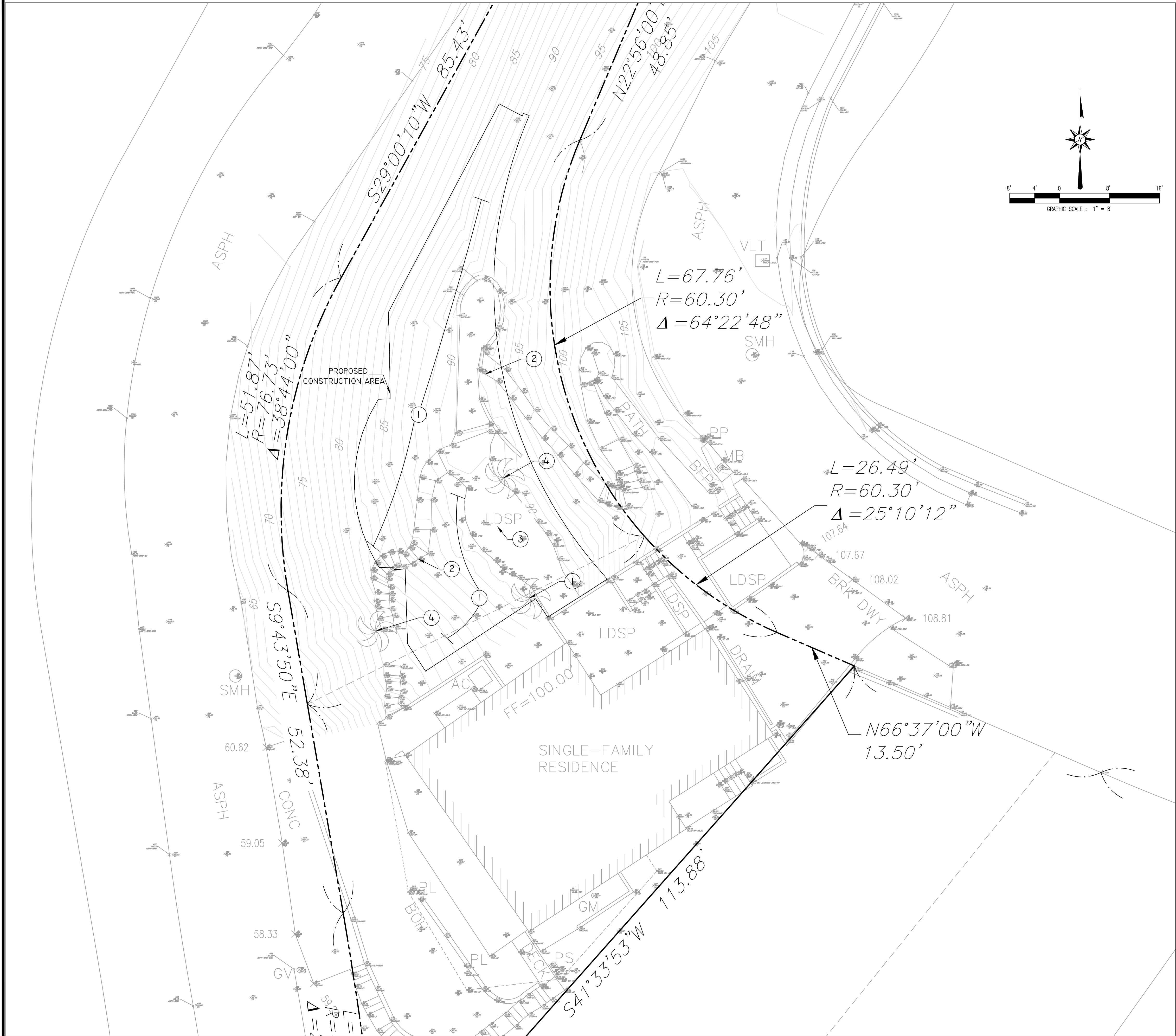
TITLE SHEET

2210 CRESTVIEW DRIVE
LAGUNA BEACH, CA 92651
PREPARED FOR: MS. SEMIRA KASHI

JOB NO. 21E21130

SHEET C-1

PLOT DATE:
03-31-2023



- DEMOLITION NOTES:**
(CONSTRUCTION QUANTITIES TO BE VERIFIED BY CONTRACTOR OF RECORD)
- ① — REMOVE EXISTING SURFACE FEATURES; TREES, PLANTS, ETC WHERE FOUND.
 - ② — REMOVE EXISTING STEPS WHERE OCCURS IN PROPOSE CONSTRUCTION AREA.
 - ③ — REMOVE EXISTING LANDSCAPE WHERE OCCURS WITHIN PROPOSED CONSTRUCTION AREA.
 - ④ — KEEP EXISTING TREES IN-PLACE.

PREPARED BY OR UNDER DIRECTION OF:

STEPHEN B. PETER DATE

REGISTERED PROFESSIONAL ENGINEER
STEPHEN B. PETER
No. 38623
Exp. 3/31/28
CIVIL
STATE OF CALIFORNIA

BY	REVISION	DESCRIPTION	APPROVED	DATE

SCALE: SCALE : 1" = 8'	DESIGNED:	DRAWN: MB	CHECKED: SBP
ACAD FILE NO. 21E21130			DATE
PROJECT NO. 21E21130			

--

BENCHMARK THE FINISH FLOOR AT THE FRONT ENTRANCE ELEVATION: 100.00'
--

A.P. NUMBER: 644-293-14 & 644-293-15

PLANS PREPARED BY:

PETER and ASSOCIATES

1519 CALLE VALLE, SAN CLEMENTE, CA. 92672
Tel: (949) 492-3735 Fax: (949) 492-1891

ENGINEERS
GEOLOGISTS &
SURVEYORS, INC.

WWW.PETERASSOC.COM

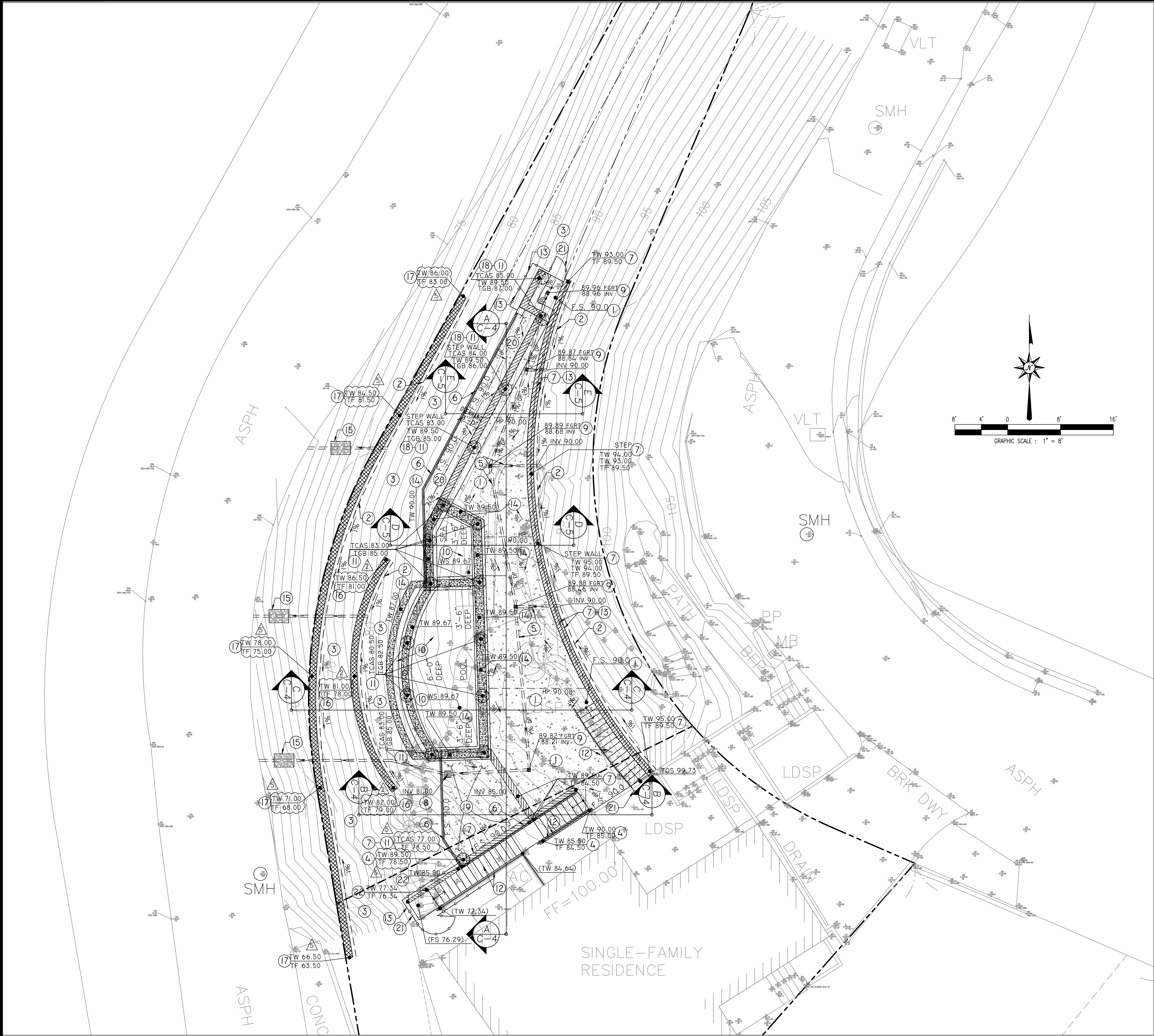
DEMOLITION PLAN

2210 CRESTVIEW DRIVE
LAGUNA BEACH, CA 92651

PREPARED FOR: MS. SEMIRA KASHI

C-2

PLOT DATE: 03-31-2023



CONSTRUCTION NOTES:
(CONSTRUCTION QUANTITIES TO BE VERIFIED BY CONTRACTOR OF RECORD)

- 865 SF (+/-) 1 — CONSTRUCT CONCRETE HARDSCAPE 6"-INCH THICKNESS ALONG WITH MINIMUM OF TWO (2")-INCH LAYER OF CRUSHED ROCK, GRAVEL OR CLEAN SAND BENEATH THE CONCRETE SLAB AND PLACE #3 REBAR AT 18-INCHES ON CENTERS EACH DIRECTION. DO NOT TIE INTO THE HOUSE FOUNDATION. CONSTRUCTION JOINTS AT SIX (6') FOOT OR LESS SPANS.
- 212 L.F. (+/-) 2 — INSTALL 4-INCH PVC SCH 40 OR ABS SDR 35 DRAINAGE LINE (PERFORATED - WITH HOLES DOWN).
- 3 — LANDSCAPE BY OTHERS.
- 64.6 L.F. (+/-) 4 — CONSTRUCT 6" MASONRY WALL NEXT TO PROPOSED STAIRS.
- 158 L.F. (+/-) 5 — INSTALL 4-INCH PVC SCH 40 OR ABS SDR 35 DRAINAGE LINE (NON-PERFORATED).
- 85 L.F. (+/-) 6 — PROVIDE 42-INCH SAFETY RAILING BY OTHERS.
- 20 L.F. (+/-) 7 — CONSTRUCT 12" MASONRY WALL PER STRUCTURAL ENGINEER.
- (1) 8 — (12")(X)(12") NDS 1212 CATCH BASIN AND EQUIPMENT FOR CONNECTION TO 4"-INCH PIPES.
- (5) 9 — INSTALL 6-INCH NDS BRASS INLETS OR EQUIVALENT.
- 10 — INFINITY POOL/SPA PER STRUCTURAL ENGINEER.
- CAISSONS (16) 11 — GRADE BEAMS AND CAISSONS TO BE DESIGNED BY STRUCTURAL ENGINEER. RECOMMENDATION: 24" DIA. POOL CAISSONS AND 2'X2' GRADE BEAM; DEPTH OF CAISSONS FOR RETAINING WALL AND/OR POOL AND SPA SHALL BE 10-FT BELOW A 2H:1V PLANE FROM THE TOE OF SLOPE. PER SOIL REPORT THE CREEP LAYER IS 5' BELOW THE SURFACE AND THE POINT OF FIXITY IS TWO (2) TIMES CAISSONS DIAMETER BELOW THE CREEP LAYER.
- 136.5 L.F. (+/-)
- 87 L.F. (+/-) 12 — CONSTRUCT STAIRS PER ARCHITECT. NOTE: STAIR HANDRAIL 42".
- 126.5 L.F. (+/-) 13 — 5' HIGH ROD-IRON POOL SECURITY FENCE AT TOP OF RETAINING WALL (SEE A-2 ARCHITECTURAL PLAN)
- 128.5 L.F. (+/-) 14 — CONSTRUCT 12" WIDE CONCRETE WALL OVER GRADE BEAMS PER STRUCTURAL DESIGN; BACKFILL WITH GRANULAR MATERIAL MAX 3/4 INCH DIAMETER- COMPACT TO 90% OF RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD 1557.
- (3) 15 — 3'(L) X 2'(W) RIP RAP.
- 37 L.F. (+/-) 16 — CONSTRUCT MAXIMUM 3'-FT SEGMENTAL WALL PER STRUCTURAL ENGINEER.
- 106 L.F. (+/-) 17 — CONSTRUCT MAXIMUM 3'-FT SEGMENTAL WALL PER STRUCTURAL ENGINEER.
- 40 L.F. (+/-) 18 — CONSTRUCT 12" WIDE MASONRY WALL OVER GRADE BEAMS PER STRUCTURAL DESIGN; BACKFILL WITH GRANULAR MATERIAL MAX 3/4 INCH DIAMETER- COMPACT TO 90% OF RELATIVE COMPACTION AS DETERMINED BY ASTM TEST METHOD 1557.
- 48 SF (+/-) 19 — CONSTRUCT CONCRETE SLAB OVER METAL FRAMED DECK SUPPORTED BY ADJACENT RETAINING WALLS AND CAISSON.
- 76 SF (+/-) 20 — CONSTRUCT CONCRETE SLAB, CANTILEVERED OVER WALL.
- (3) 21 — ACCESS GATE 5' TALL.
- 22 — 6" CURB WALL ALONG THE STEPS.

LEGEND:

	BRICK		WALL-MASONRY
	ROCK WALL	TW	TOP OF WALL
	BUILDING LINE	TCAS	TOP OF CAISSON
	CONCRETE SURFACE	TGB	TOP OF GRADE BEAM
	DP	● (XX.XX)	EXISTING SPOT ELEVATION
	INV	FF	FINISH FLOOR
	TC	FG	FINISH GRADE
	GRASS	FGRT	FINISH GRATE ELEVATION
	HP	FP	FINISH PAD
	NATURAL GROUND/LANDSCAPE	FS	FINISH SURFACE
	PA	GM	GAS METER
	TC	GFS	GARAGE FINISH SURFACE
	TILE	T.G.	TOP OF GRATE
	TOS	○	METAL FENCE
	TS	▨	SEGMENTAL WALL
	TF	SB	SETBACK
	WS	---	GRASS

NOTE: SEE C-7 FOR BOUNDRY/TOPOGRAPHIC MAP LEGEND

BASIS OF BEARING:

THE SOUTH LINE OF TRACT 764 M.M. 23/1-17
BEING: NORTH 89°51'38" WEST

PREPARED BY OR UNDER DIRECTION OF:

STEPHEN B. PETER DATE

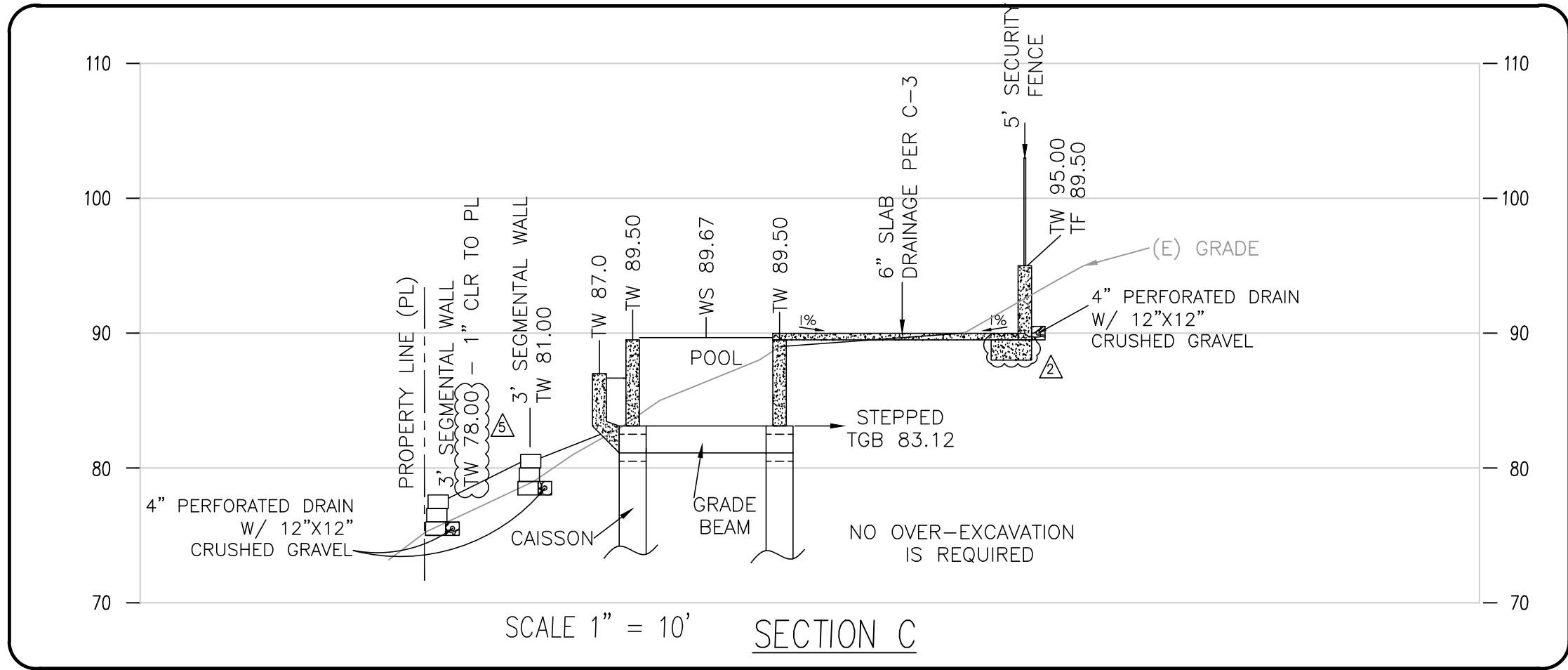
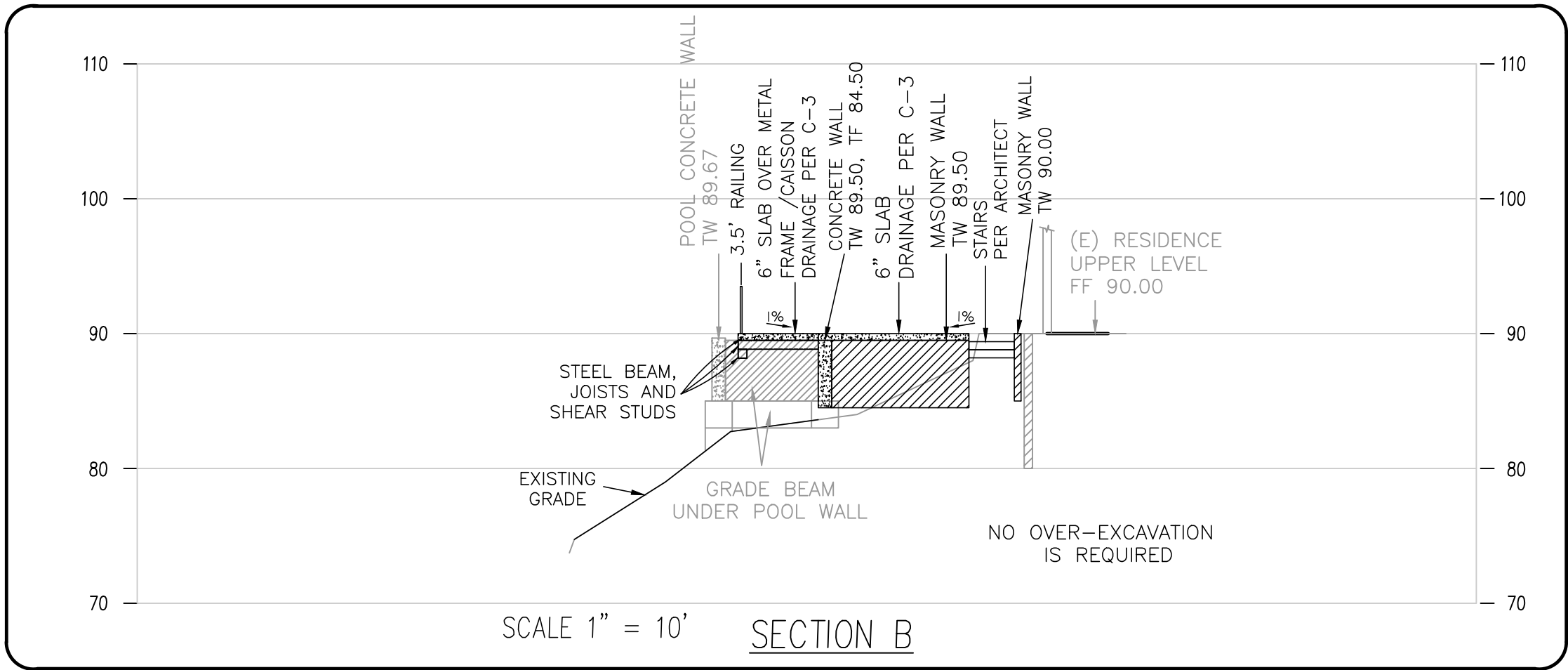
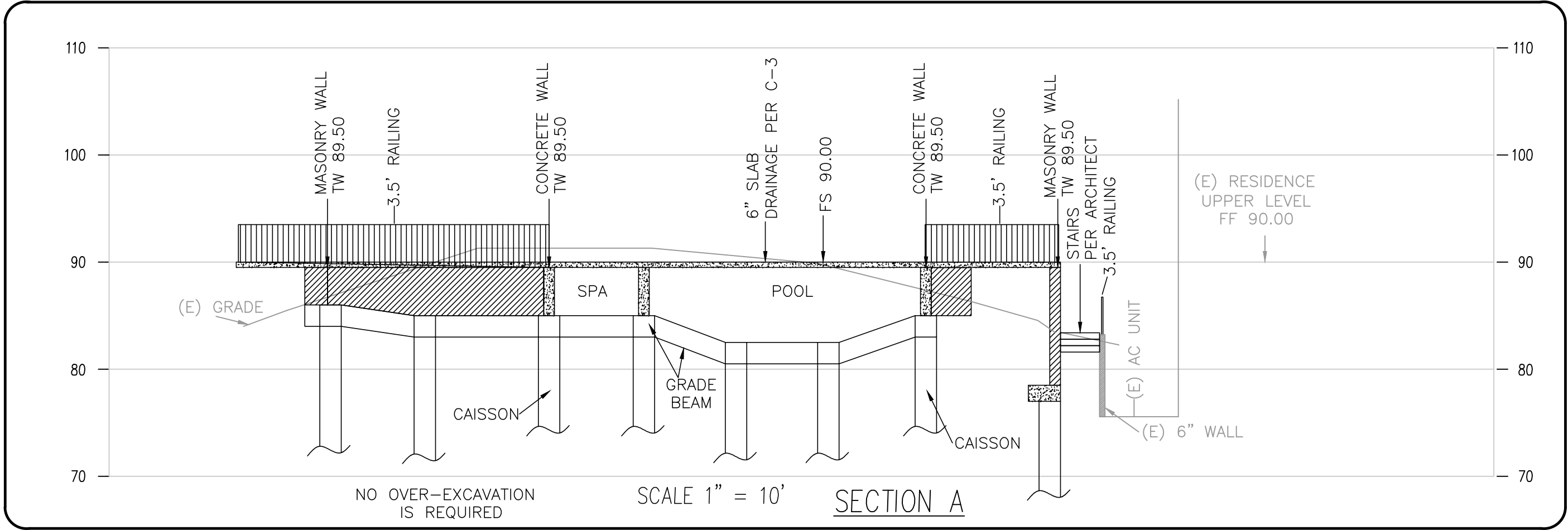


BY	REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	BENCHMARK	A.P. NUMBER:
	2	PER CITY PLAN CHECKS		03/31/23	SCALE: 1" = 8'		MB	SBP	THE FINISH FLOOR AT THE FRONT ENTRANCE ELEVATION: 100.00'	644-293-14 & 644-293-15
	5	PLAN REVISIONS		10/10/23	ACAD FILE NO. 21E21130			DATE		
					PROJECT NO. 21E21130					

PLANS PREPARED BY:
PETER and ASSOCIATES ENGINEERS
GEOLOGISTS & SURVEYORS, INC.
WWW.PETERASSOC.COM
1519 CALLE VALLE, SAN CLEMENTE, CA. 92672
Tel: (949) 492-3735 Fax: (949) 492-1891

PRECISE GRADING PLAN

2210 CRESTVIEW DRIVE
LAGUNA BEACH, CA 92651
PREPARED FOR: MS. SEMIRA KASHI



PREPARED BY OR UNDER DIRECTION OF:
STEPHEN B. PETER DATE
REGISTERED PROFESSIONAL ENGINEER
STEPHEN B. PETER
No. 38623
Exp. 3/31/28
CIVIL
STATE OF CALIFORNIA

BY	REVISION	DESCRIPTION	APPROVED	DATE
	5	PLAN REVISIONS		

SCALE:	DESIGNED:	DRAWN:	CHECKED:
SCALE : 1" = 10'	MB	MB	SBP
ACAD FILE NO. 21E21130			DATE
PROJECT NO. 21E21130			

BENCHMARK
THE FINISH FLOOR AT
THE FRONT ENTRANCE
ELEVATION: 100.00'

A.P. NUMBER:
644-293-14
& 644-293-15

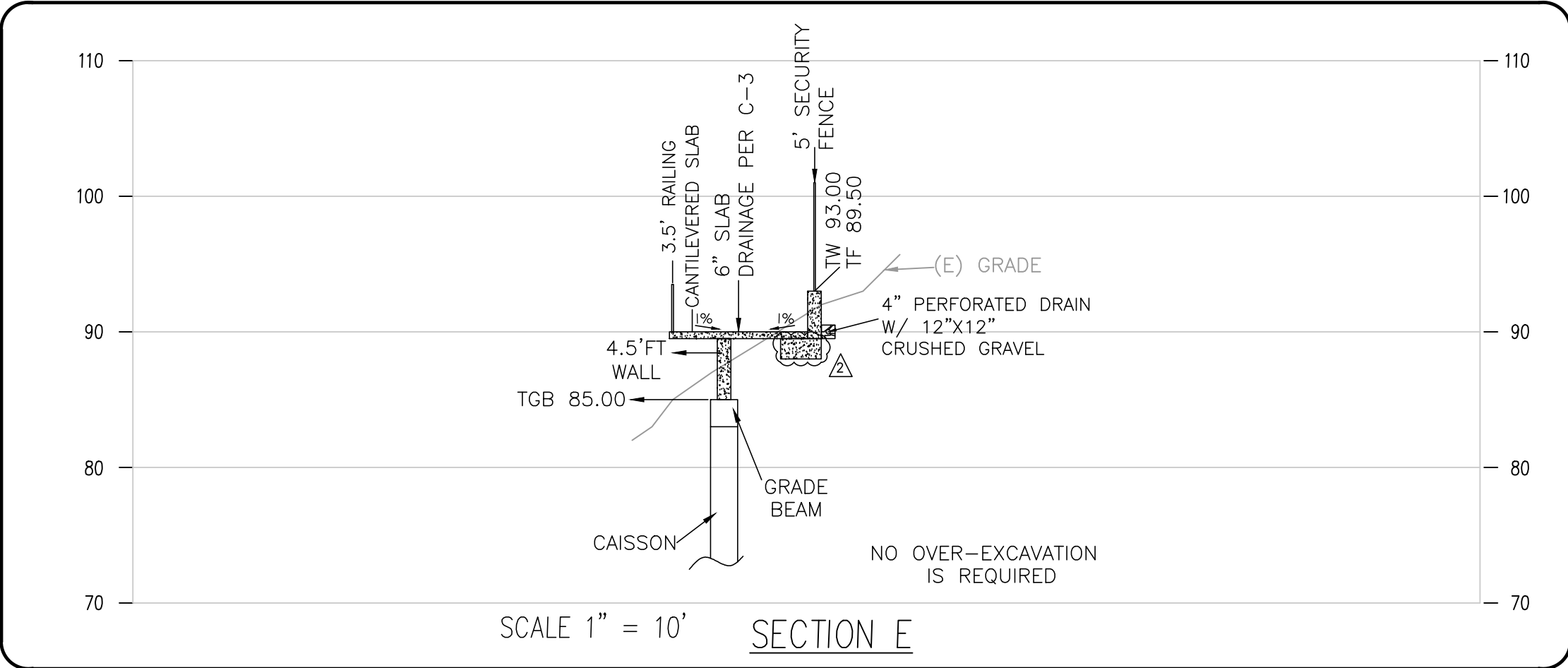
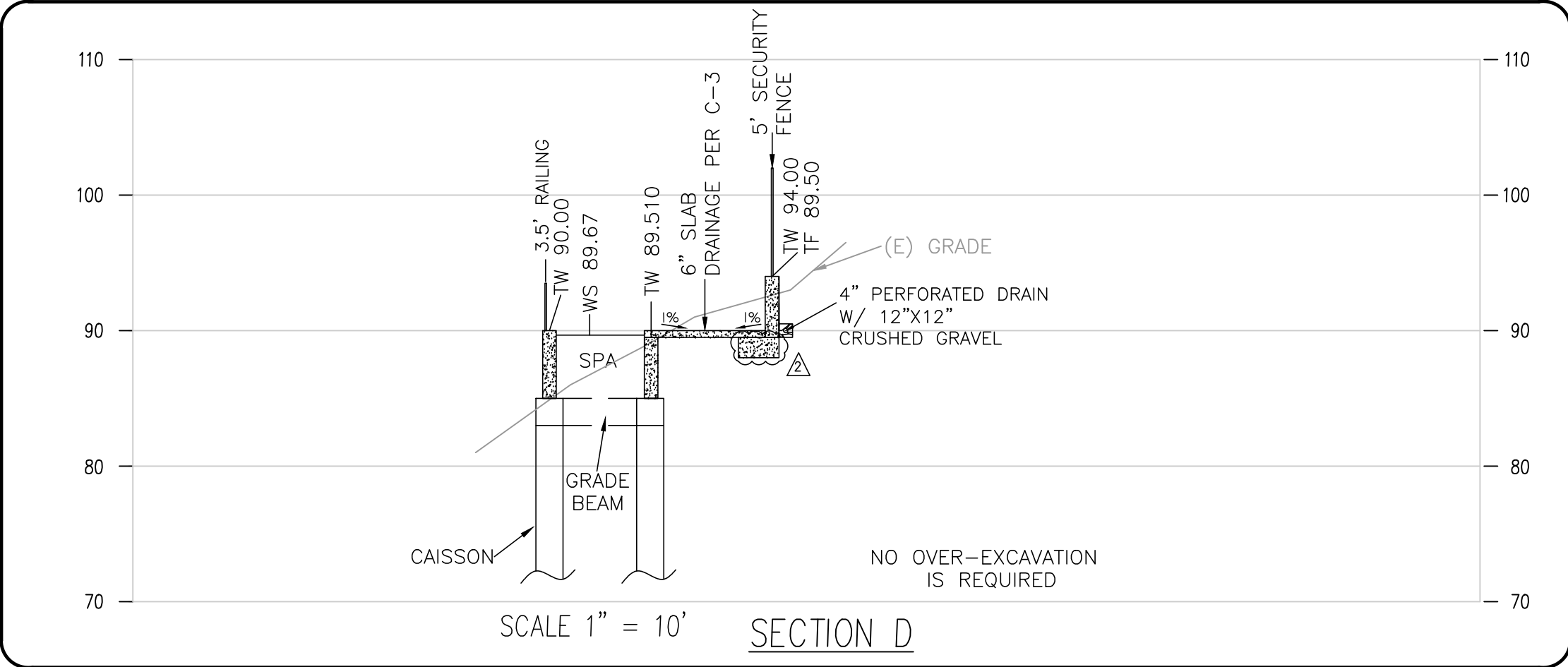
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SECTIONS A, B, C

2210 CRESTVIEW DRIVE
LAGUNA BEACH, CA 92651
PREPARED FOR: MS. SEMIRA KASHI


C-4

PLOT DATE: 10-10-2023



PREPARED BY OR UNDER DIRECTION OF:

STEPHEN B. PETER DATE




BY	REVISION	DESCRIPTION	APPROVED	DATE

SCALE: SCALE : 1" = 10'	DESIGNED:	DRAWN: MB	CHECKED: SBP
ACAD FILE NO. 21E21130	DATE		
PROJECT NO. 21E21130			

BENCHMARK
THE FINISH FLOOR AT THE FRONT ENTRANCE ELEVATION: 100.00'

A.P. NUMBER:

PLANS PREPARED BY:

 **PETER and ASSOCIATES** ENGINEERS
GEOLOGISTS & SURVEYORS, INC.

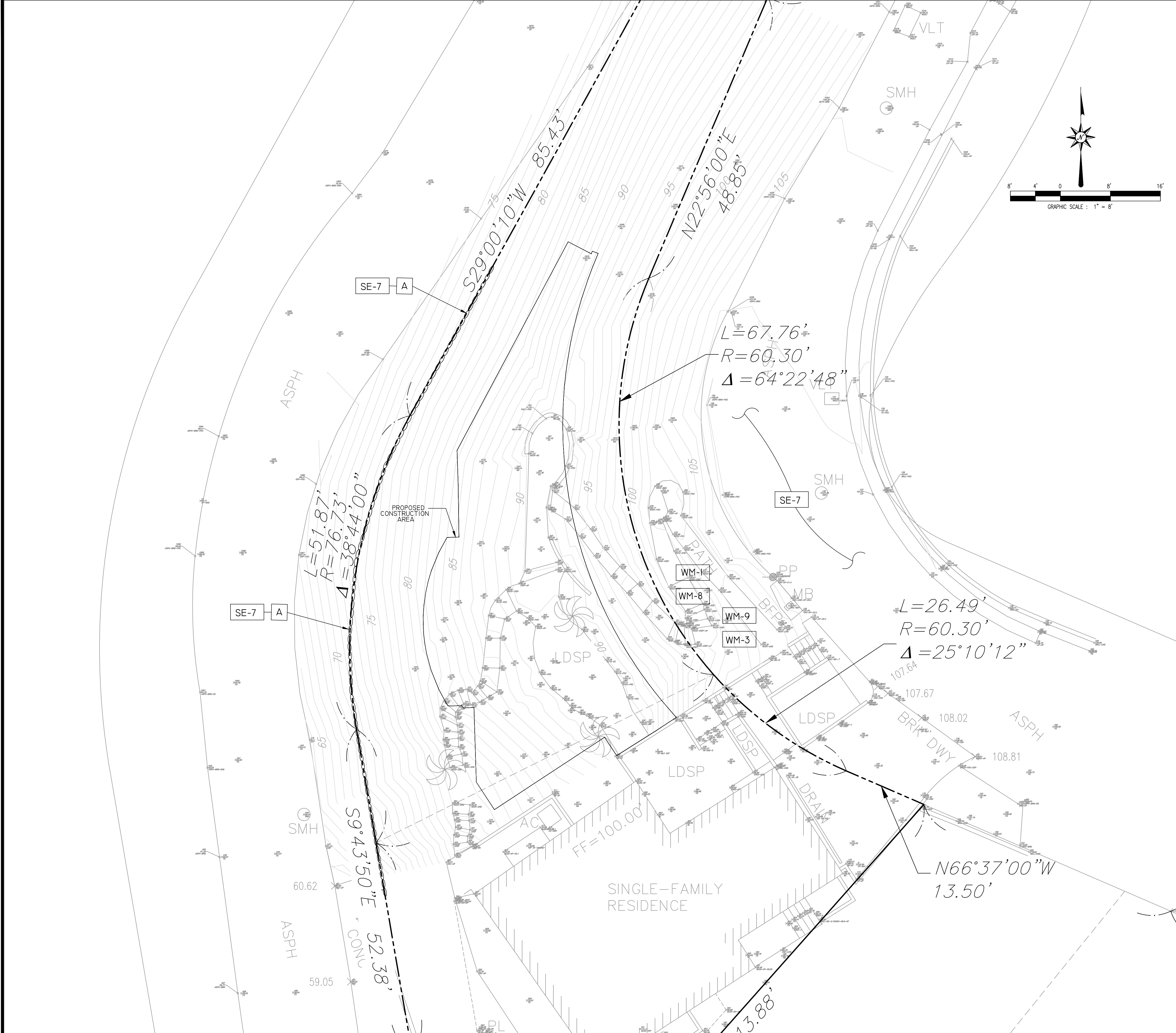
WWW.PETERASSOC.COM

1519 CALLE VALLE, SAN CLEMENTE, CA. 92672
Tel: (949) 492-3735 Fax: (949) 492-1891

SECTIONS D, E

2210 CRESTVIEW DRIVE
LAGUNA BEACH, CA 92651

PREPARED FOR: MS. SEMIRA KASHI



THE FOLLOWING GENERAL SITE MANAGEMENT BMP'S SHALL BE MAINTAINED/IMPLEMENTED ON PROJECT SITE AT ALL TIMES.

EC-1	SCHEDULING
EC-2	PRESERVATION OF EXISTING VEGETATION
EC-4	HYDROSEEDING: EARTHGUARD @ 2000#/AC
NS-1	WATER CONSERVATION PRACTICES
NS-3	PAVING AND GRINDING OPERATION
NS-6	ILLCIT CONNECTION/ILLEGAL DISCHARGE
SE-1	SILT FENCE
SE-5	FIBER ROLLS
SE-6	GRAVEL BAG BERM
SE-7	STREET SWEEPING AND VACUUMING
SE-10	STORMDRAIN INLET PROTECTION
WE-1	WIND EROSION CONTROL
WM-1	MATERIAL DELIVERY & STORAGE
WM-2	MATERIAL USE
WM-3	STOCKPILE MANAGEMENT
WM-4	SPILL PREVENTION AND CONTROL
WM-5	SOLID WASTE MANAGEMENT
WM-6	HAZARDOUS WASTE MANAGEMENT
WM-8	CONCRETE WASTE MANAGEMENT
WM-9	SANITARY/SEPTIC WASTE MANAGEMENT
TC-1	STABILIZATION CONSTRUCTION ENTRANCE/EXIT

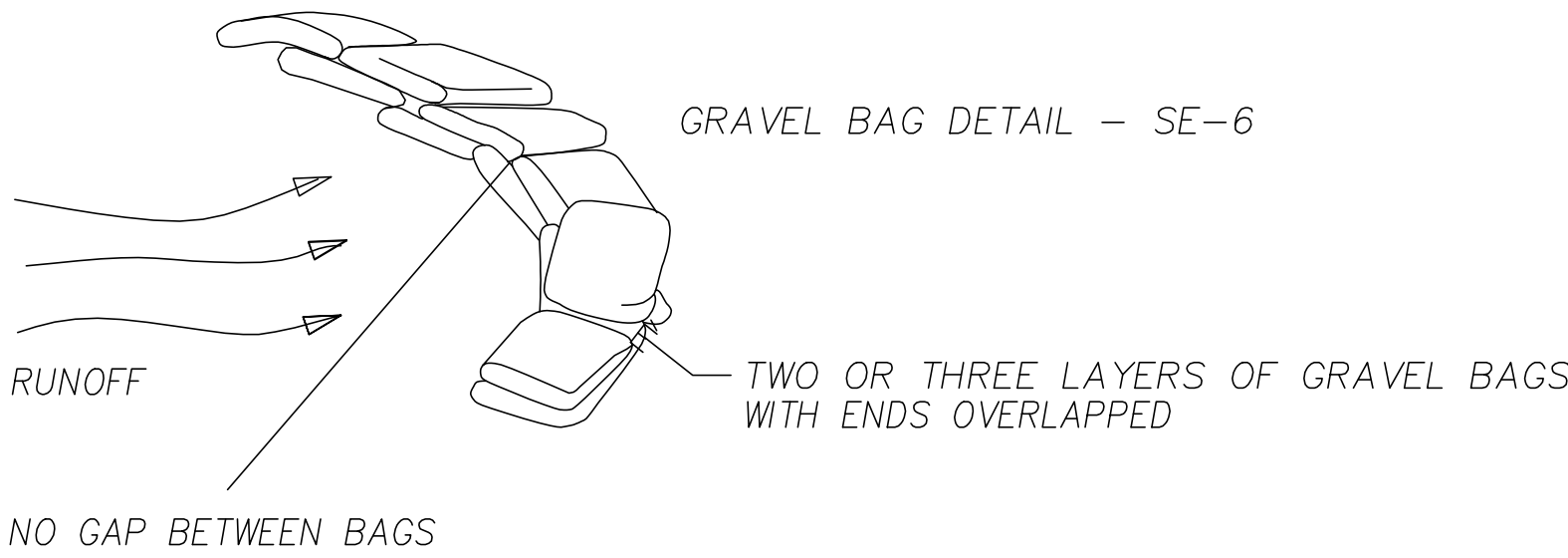
CASQA, LATEST EDITION SHALL BE USED FOR THIS PROJECT

EROSION CONTROL NOTES:

DETAILS BELOW ARE PER THE "CALIFORNIA BEST MANAGEMENT PRACTICES HANDBOOK".

EROSION CONTROL NOTES:

A — INSTALL GRAVEL BAGS PER DETAIL SE-6 PRIOR TO RAINSTORM.



BY	REVISION	DESCRIPTION	APPROVED	DATE

SCALE: SCALE : 1" = 8'	DESIGNED:	DRAWN: MB	CHECKED: SBP
ACAD. FILE NO. 21E21130			DATE
PROJECT NO. 21E21130			

BENCHMARK
THE FINISH FLOOR AT
THE FRONT ENTRANCE
ELEVATION: 100.00'

A.P. NUMBER:
644-293-14
& 644-293-15

PLANS PREPARED BY:
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SURVEYORS, INC.
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1519 CALLE VALLE, SAN CLEMENTE, CA. 92672
Tel: (949) 492-3735 Fax: (949) 492-1891

BMP AND EROSION CONTROL PLAN
2210 CRESTVIEW DRIVE
LAGUNA BEACH, CA 92651
PREPARED FOR: MS. SEMIRA KASHI

PREPARED BY OR UNDER DIRECTION OF:
STEPHEN B. PETER DATE
REGISTERED PROFESSIONAL ENGINEER
STEPHEN B. PETER
No. 38623
Exp. 3/31/25
CIVIL
STATE OF CALIFORNIA

LEGAL DESCRIPTION

PARCEL A

PARCEL 1:

LOT 37 OF TRACT NO. 764, IN THE CITY OF LAGUNA BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 23, PAGES 11 THROUGH 17 INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:

AN EASEMENT LIMITED TO A TERM OF FIFTY YEARS TO MAINTAIN EXISTING ENCROACHMENTS OF AN 8 INCH CONCRETE RETAINING WALL CONCRETE FOUNDATION FOR STEPLANDING, WOOD STEPS AND AN 8 INCH CONCRETE WING WALLS AS GRANTED BY DEED RECORDED JULY 13, 1960 IN BOOK 5327 PAGE 70, OFFICIAL RECORDS, OVER THAT PORTION OF LOT 36 OF TRACT NO. 764, IN THE CITY OF LAGUNA BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 2 3, PAGES 11 THROUGH 1 7 INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY CORNER OF SAID LOT 36;
THENCE SOUTHWESTERLY 0.62 FEET ALONG THE NORTHEASTERLY LINE THEREOF;
THENCE SOUTHWESTERLY 19.6 FEET TO A POINT SOUTHEASTERLY 1.25 FEET MEASURED AT RIGHT ANGLES FROM THE NORTHWESTERLY LINE OF SAID LOT; THENCE SOUTHWESTERLY 13. 0 FEET TO THE SAID NORTHWESTERLY LINE; THENCE NORTHEASTERLY ALONG SAID NORTHERLY LINE TO THE POINT OF BEGINNING.

PARCEL 3:

AN EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF SEWER PIPELINE PURPOSES AS RECORDED IN BOOK 10259 PAGE 620, OFFICIAL RECORDS OVER THE NORTHERLY 4.00 FEET OF LOT 14 OF TRACT NO. 764, IN THE CITY OF LAGUNA BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 23, PAGES 11 THROUGH 17 INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, SAID 4.00 FEET BEING MEASURED AT RIGHT ANGLES TO THE NORTHERLY LINE HAVING A BEARING OF NORTH 84 ° 56' 40" EAST.

PARCEL B

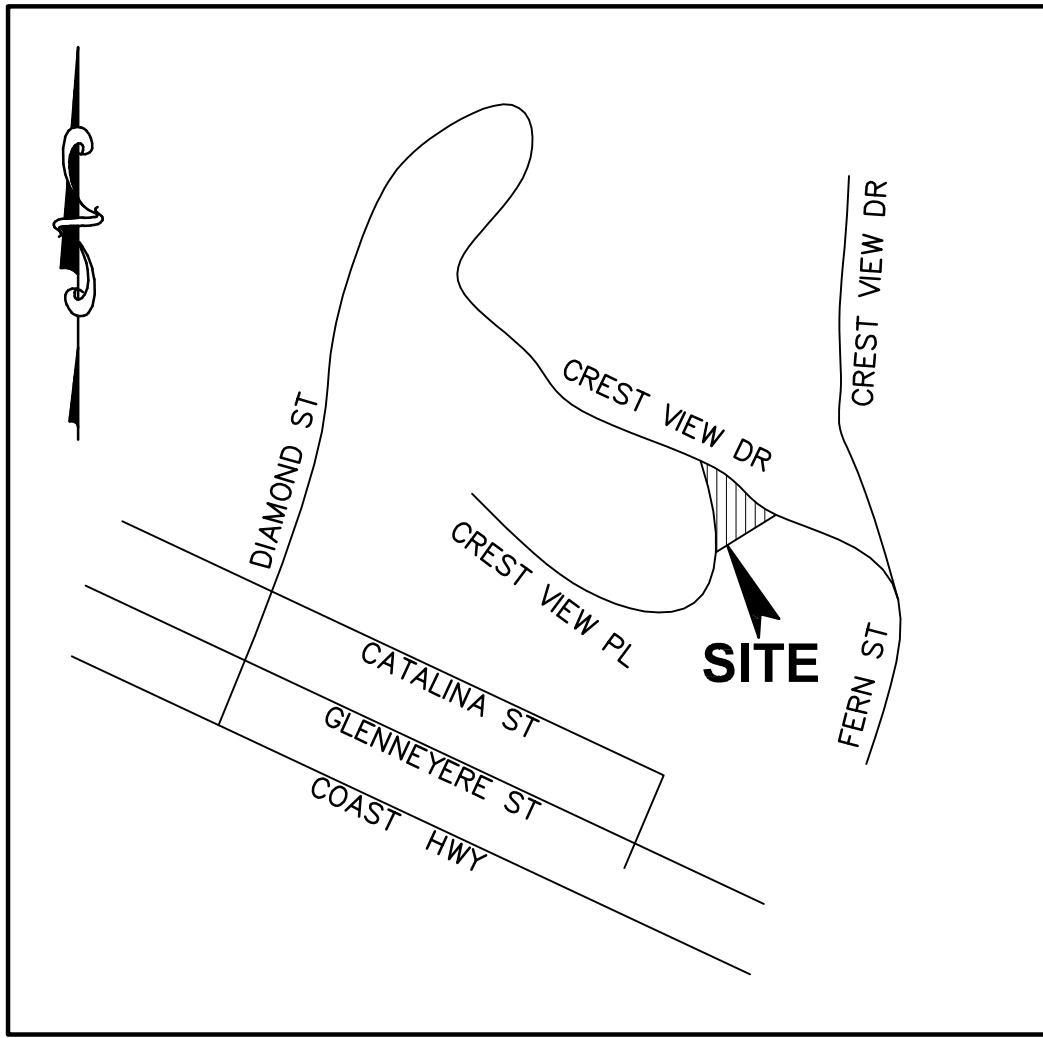
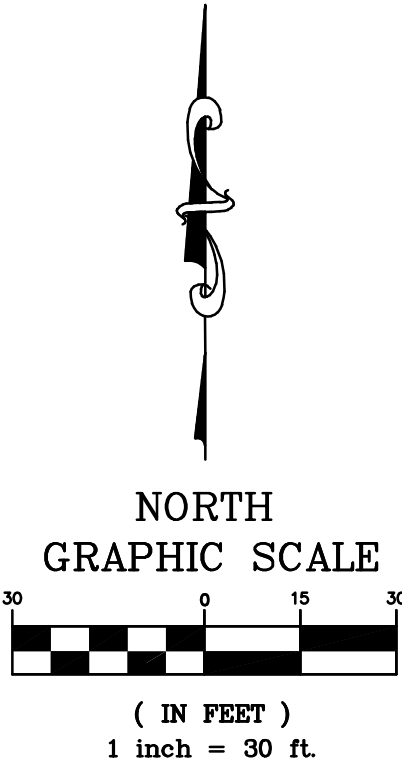
LOT 38 OF TRACT NO. 764, IN THE CITY OF LAGUNA BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 23, PAGE(S) 11 THROUGH 17 INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING ALL OIL, GAS, ASPHALTUM AND OTHER HYDROCARBONS, AND OTHER MINERALS WHETHER SIMILAR TO THOSE HEREIN SPECIFIED OR NOT, WITHIN OR UNDERLYING, OR THAT MAY BE PRODUCED FROM SAID LOTS, AND ALSO EXCEPTING AND RESERVING TO GRANTORS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGNS, THE SOLE AND EXCLUSIVE RIGHT TO DRILL SLANTED WELLS FROM ADJACENT LOTS INTO AND THROUGH, AND TO DEVELOP MINES AND CONSTRUCT TUNNELS, SHAFTS AND OTHER WORKS IN AND THROUGH THE SUBSURFACE OF SAID LOTS FOR THE PURPOSE OF RECOVERING SAID MINERALS OR ANY OF THEM FROM SAID LOTS OR FROM OTHER PROPERTY, OR BOTH, PROVIDED, HOWEVER, THAT GRANTORS SHALL NOT HAVE THE RIGHT TO USE THE SURFACE OF SAID LOTS OR THAT PORTION OF THE SUBSURFACE THEREOF FOR THE EXPLORATION, DEVELOPMENT, EXTRACTION, REMOVAL OR STORAGE OF SAID MINERALS, AS RESERVED BY EUGENE J. STERN, A MARRIED MAN ET AL., IN DEED RECORDED NOVEMBER 26, 1965 IN BOOK 7753 PAGE 502, OFFICIAL RECORDS.

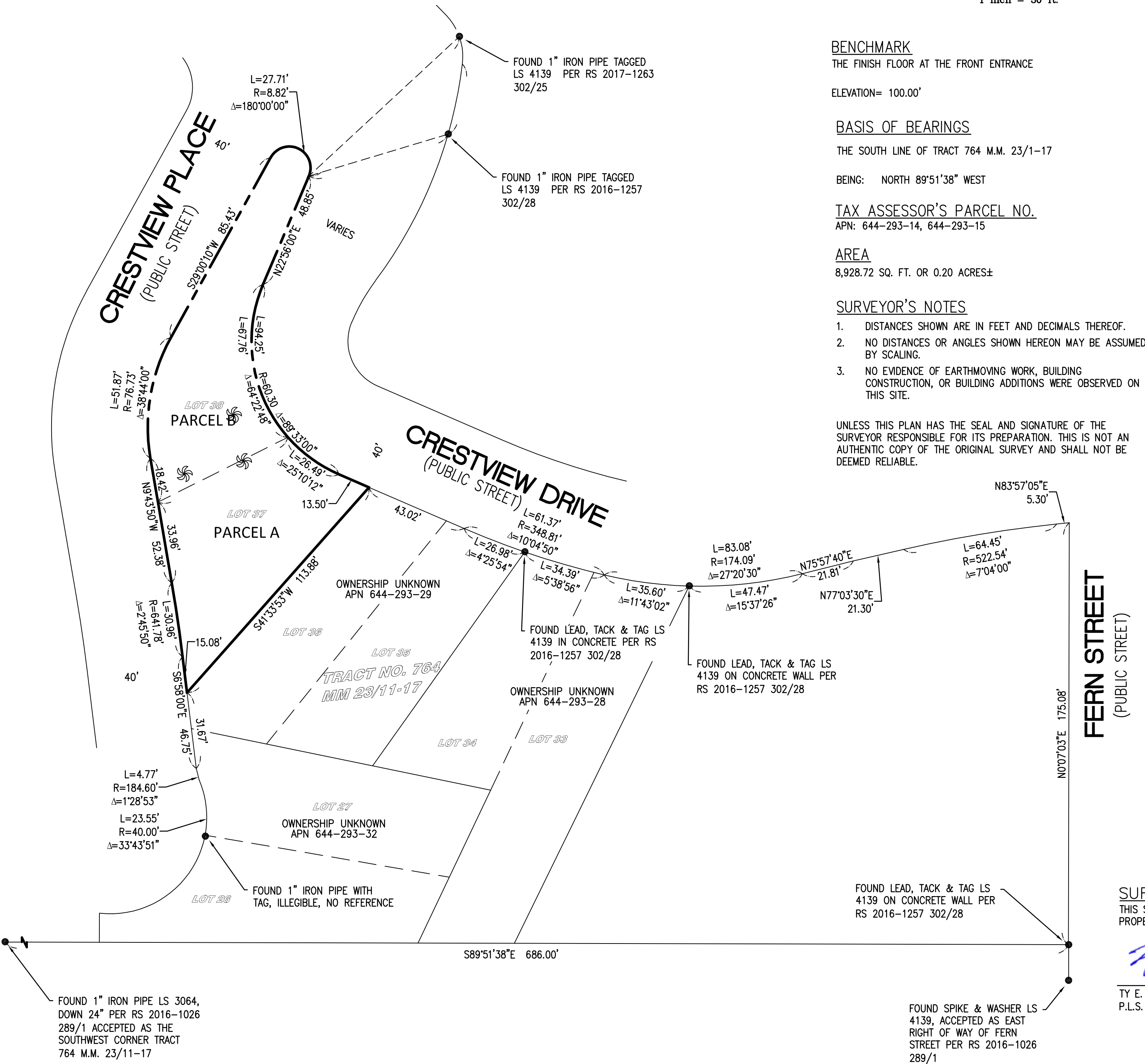
APN: 644-293-14 and 644-293-15

BOUNDARY/TOPOGRAPHIC MAP

2210 CRESTVIEW DRIVE, CITY OF LAGUNA BEACH COUNTY OF ORANGE, STATE OF CALIFORNIA



VICINITY MAP
NTS



BENCHMARK

THE FINISH FLOOR AT THE FRONT ENTRANCE

ELEVATION= 100.00'

BASIS OF BEARINGS

THE SOUTH LINE OF TRACT 764 M.M. 23/1-17

BEING: NORTH 89°51'38" WEST

TAX ASSESSOR'S PARCEL NO.

APN: 644-293-14, 644-293-15

AREA

8,928.72 SQ. FT. OR 0.20 ACRES±

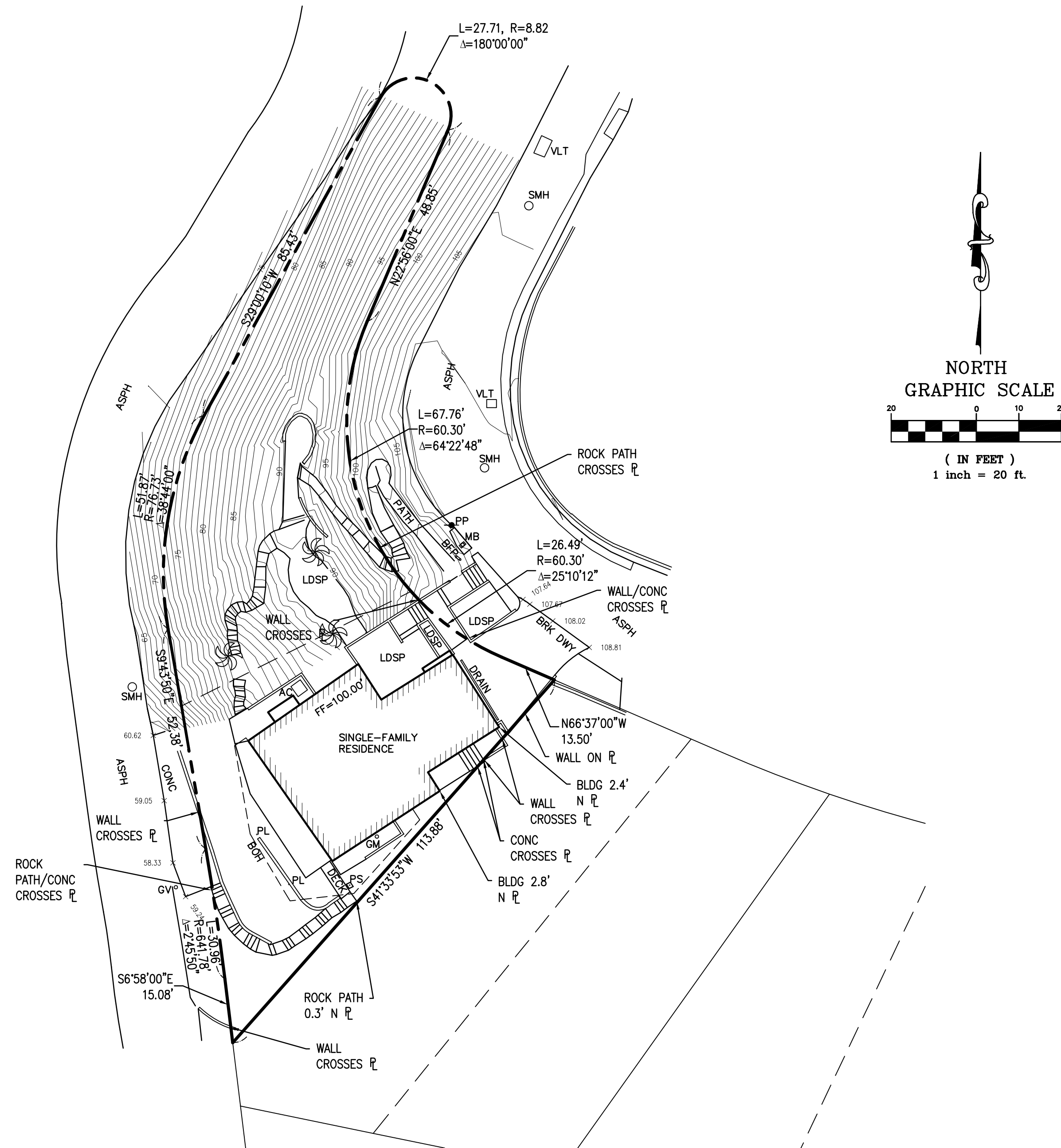
SURVEYOR'S NOTES

1. DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
2. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING.
3. NO EVIDENCE OF EARTHMOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED ON THIS SITE.

UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR RESPONSIBLE FOR ITS PREPARATION. THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.

LEGEND

- CL CENTERLINE
- PL PROPERTY LINE
- BOH BUILDING OVERHANG
- BLDG BUILDING
- BR BRICK
- CONC CONCRETE
- ASPH ASPHALT
- FF FINISHED FLOOR ELEVATION
- FL FLOWLINE
- GM GAS METER
- LDSP LANDSCAPE
- MB MAILBOX
- PL POLE
- PS POST
- PP POWERPOLE
- SMH SEWER MANHOLE
- TC TOP OF CURB
- VL VAULT
- WALL



SURVEYOR'S NOTE

THIS SURVEY WAS PREPARED UNDER MY DIRECTION AND IS A CORRECT REPRESENTATION OF THE PROPERTY DESCRIBED HEREON.

Ty E. Thomas
TY E. THOMAS
P.L.S. 9309 EXP. 9/30/2022

11-9-2020
DATE



GRAND KNIGHT ENGINEERING, Inc.

PLANNING
ENGINEERING
SURVEYING

24881 ALICIA PARKWAY E-243
LAGUNA HILLS, CA 92653
ph: 949.228.1570
fx: 949.214.6424

SCALE: AS SHOWN

DATE: 01/05/20

BOUNDARY/TOPOGRAPHIC MAP

2210 CRESTVIEW DRIVE,
LAGUNA BEACH, CA

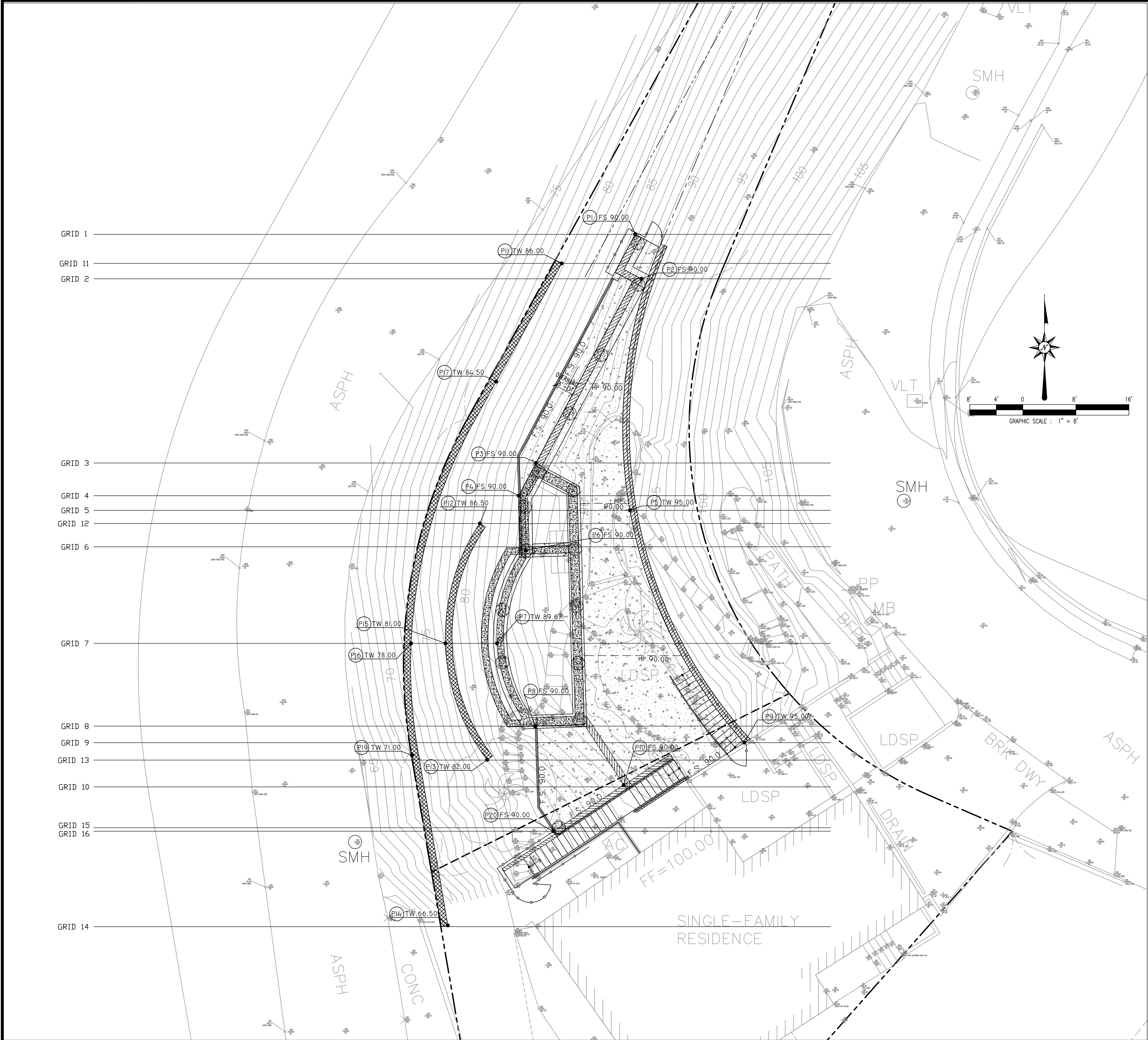
FOR: SEMIRA BOOKER

PLAN No. 20-1362-01

SHT. 1

OF 1 SHTS.

SHEET C-7



5 STORY POLE CONSTRUCTION NOTES TABLE

DATE: 11/09/2023
SITE ADDRESS: 2210 CRESTVIEW DRIVE, LAGUNA BEACH, CA 92651
DATUM POINT: PER TOPOGRAPHIC MAP - EL=100.00' @ THE FINISH FLOOR AT THE FRONT ENTRANCE.
NAME OF SURVEYOR OR ENGINEER: PETER AND ASSOCIATES, INC.

POLE NUMBER	OFFSET HUB ELEVATION	HEIGHT OF STORY POLE FROM HUB ELEVATION	PROPOSED MAXIMUM ELEVATION
1 STAKE	87'-11"	UP 2'-1"	90.00
2 STAKE	91'-3"	DOWN 1'-3"	90.00
3 STAKE	86'-3"	UP 3'-9"	90.00
4 STAKE	85'-5"	UP 4'-7"	90.00
5 STAKE	92'-4"	UP 2'-8"	95.00
6 STAKE	86'-6"	UP 3'-6"	90.00
7 STAKE	83'-2"	UP 6'-6"	89.67
8 STAKE	84'-0"	UP 6'-0"	90.00
9 STAKE	92'-11"	UP 2'-1"	95.00
10 STAKE	86'-1"	UP 3'-11"	90.00
11 STAKE	83'-5"	UP 2'-7"	86.00
12 STAKE	84'-1"	UP 2'-5"	86.50
13 STAKE	79'-1"	UP 2'-11"	82.00
14 STAKE	64'-1"	UP 2'-5"	66.50
15 STAKE	78'-9"	UP 2'-3"	81.00
16 STAKE	76'-9"	UP 1'-3"	78.00
17 STAKE	82'-1"	UP 2'-5"	84.50
18 STAKE	NOT USED	NOT USED	NOT USED
19 STAKE	68'-2"	UP 2'-10"	71.00
20 STAKE	79'-6"	UP 10'-6"	90.00
21 STAKE	NOT USED	NOT USED	NOT USED

Story Pole Height and Location Certification

Instructions: The Story Pole Height and Location Certification and Story Pole Construction Notes Table or Notations must be executed by a registered land surveyor or registered civil engineer directly on a copy of full-sized roof plan. The completed certification must be submitted to the City at least 28 days prior to the design review authority's first noticed public hearing date (or 14 days prior to administrative design review hearing or a design review continuance)

Required Certification Statment:

I hereby certify that the story poles located on the reference site were constructed under my supervision and survey, and the story poles are in conformance with the design, height and location as sown on the approved stacking plan. I further certify that 1) the story pole identification numbers, 2) story pole location base grade elevations, 3) story pole heights and 4) the proposed maximum height elevations are true and correct. I acknowledge and understand that the required staking is for the purpose of informing the owner, architect, designer, City staff, design review authority and public as to the accurate location of exterior dimensions of the proposed structure or addition.

Place stamp & sign below

Mike Miedema

Signature of Registered Land Surveyor of Civil Engineer

MIKE MIEDEMA

Name (print ed or typed)

PLS 8421 / EXP. 12/31/2024

License No./Expiration Date

11/09/2023

Date



BY	REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:
	2	PER CITY PLAN CHECKS (STAKING PLAN ADDED)		03/31/23	SCALE: 1" = 8'		MB	SBP
	3	ADDITIONAL STAKING POINTS FOR SEGMENTAL WALLS		06/26/23	ACAD FILE NO. 21E21130			
	4	ADDITIONAL STAKING POINTS		07/27/23				
	5	PLAN REVISIONS		10/10/23	PROJECT NO. 21E21130			

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BENCHMARK
THE FINISH FLOOR AT THE FRONT ENTRANCE ELEVATION: 100.00'

A.P. NUMBER:
644-293-14
& 644-293-15

PLANS PREPARED BY:
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Tel: (949) 492-3735 Fax: (949) 492-1891

STAKING PLAN
2210 CRESTVIEW DRIVE
LAGUNA BEACH, CA 92651
PREPARED FOR: MS. SEMIRA KASHI