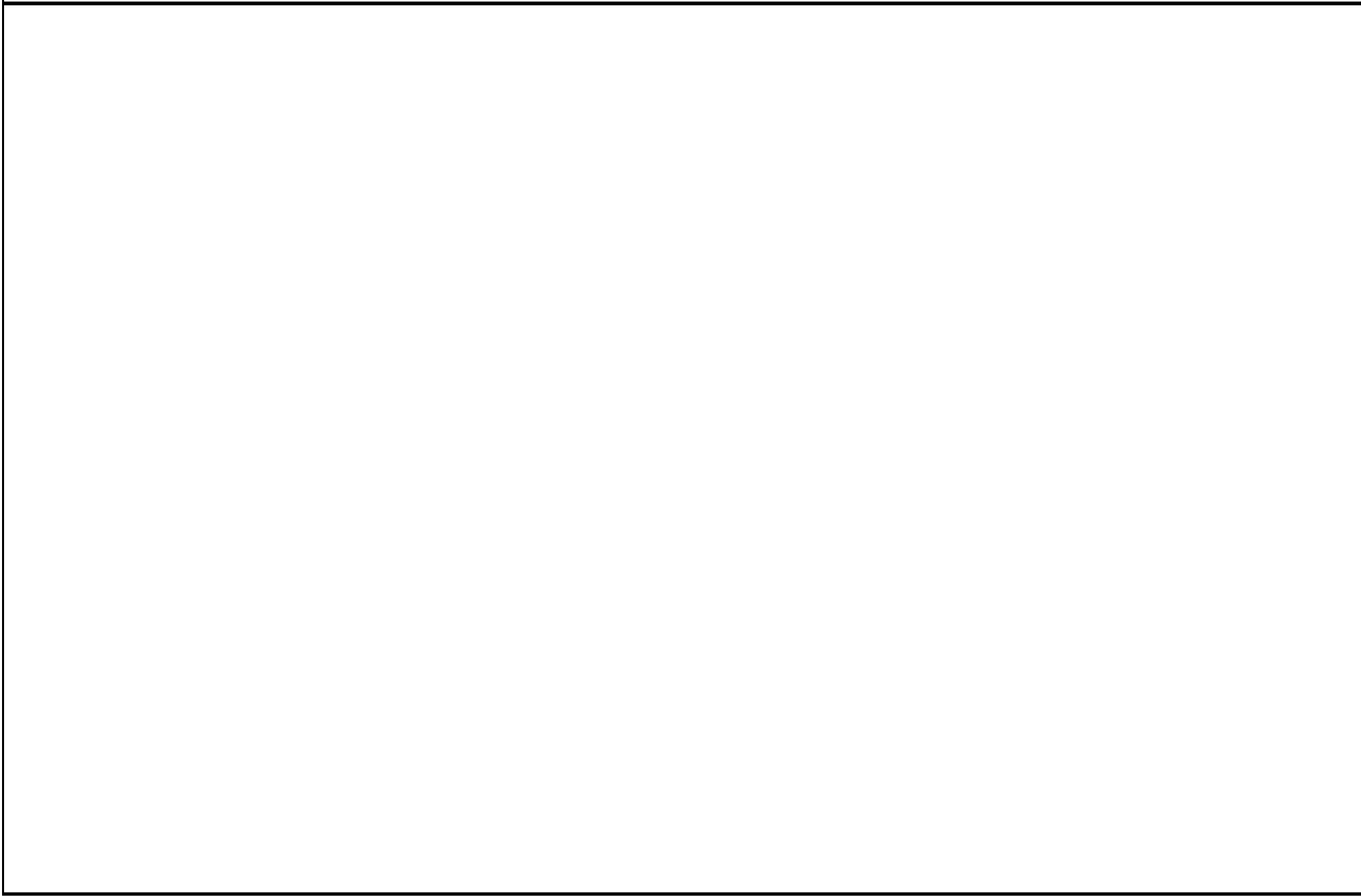


A contour map titled "CONTOUR MAP" showing the project location. The map features a rectangular area labeled "PROJECT LOCATION" in the center. To the left is the "JIAN SEA" and to the right is "ARCHIPELAGO DR". The map includes contour lines indicating elevation and a north arrow with a scale of 1"=80'.

OVERALL NEIGHBORHOOD TOPO PLAN (REFER TO ENLARGED SITE PLAN FOR EXPANDED INFO NOT SHOWN)

PARCEL Parcel #: 47719102 Lot size: 0.334 ACRE N TR 15817 BLK LOT 4 Lot size: 0.334 ACRE for 18 Archipelago Dr, Newport Coast, CA 92657

[illegible]

- 1 THESE NOTES APPLY TO ALL DRAWINGS, UNLESS NOTED OTHERWISE, ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS REPRESENTATIVES OF THE DRAWINGS AND/OR GENERAL NOTES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
- 2 OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR STRUCTURAL ENGINEER FIELD REPRESENTATIVE SHALL NEITHER BE CONSTRUED AS INSPECTION NOR APPROVAL AS NOT AS INSPECTION AND DOES NOT IN ANY WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES, UNLESS NOTED OTHERWISE. VISITS TO THE SITE ARE FIRED REPERED BY THE ARCHITECT AND/OR HIS CONSULTANTS ARE NOT TO INCLUDE INSPECTIONS OF REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR HIS CONSULTANTS DURING CONSTRUCTION ARE TO BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICE WHICH IS FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ARCHITECT AND/OR HIS CONSULTANTS, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSURING IN QUALITY CONTROL AND IN ACHIEVING GENERALLY CONFORMANCE WITH DESIGN CONCEPT AND CONTRACT DRAWINGS AND SPECIFICATIONS AND THEREFORE, THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE.
- 3 THE CONTRACTOR IS RESPONSIBLE FOR ALL INSTALLATIONS THROUGH UTILIZING ARCHITECT'S DRAWINGS AS INSTRUMENTS FOR INSTRUCTION, NOT THE PRODUCT ITSELF AS THE DRAWINGS DO NOT REPRESENT THE METHOD OF CONSTRUCTION. CONTRACTOR IS TO SUPERVISE AND DIRECT THE WORK UNDER HIS CONTRACT AND IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS, WHICH ARE TO BE IN ACCORDANCE WITH SPECIFICATIONS AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE AND SAFETY OF WORKMEN DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO, BRICKWORK, SHIELDING, PROTECTIVE DUE TO CONSTRUCTION EQUIPMENT, ETC. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF FIELD SAFETY, ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS AND ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL SCHEDULES AND TRADE SEQUENCE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 4 ARCHITECT DOES NOT PREPARE SHOP DRAWINGS AS EACH VENDOR SHALL SECURE THEIR OWN SHOP DRAWINGS INCLUDING DIFFERED ITEMS AS REQUIRED BY CITY. ALL SHOP DRAWINGS AND PRODUCT SUBMITTALS REVIEW FROM THE ARCHITECT'S OFFICE SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR COMPLIANCE AND THE SYNERGY OF COMPONENTS THAT MAKE FIT. SHOP DRAWING SUBMITTALS AND PRODUCT SUBMITTALS WILL BE REVIEWED FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT AS INDICATED BY THE CONSTRUCTION DOCUMENT. QUANTITIES OR DIMENSIONS WILL NOT BE REVIEWED BY ARCHITECT INCLUDING COORDINATION OF THE WORK WITH THAT OF ANY OTHER TRADE. SHOULD ANY COMMENT BE RELATED TO THE ABOVE BE MADE BY ARCHITECT, SUCH COMMENT SHALL BE CONSIDERED AS ONLY AS CLIENT AGREES TO INDEMNIFY AND HOLD HARMLESS THE ARCHITECT FROM ANY AND ALL CLAIMS OR LIABILITIES ARISING FROM SUCH ERRORS OR NEGLIGENCE.
- 5 ARCHITECT SHALL BE NOTIFIED OF DESIGN CHANGES PRIOR TO EXECUTION OF WORK AND HAVE ACCESS BEFORE TRADE COVER-UPS FOR FIELD REVIEW. DISPUTES BETWEEN ARCHITECT, CONTRACTOR AND OWNER SHALL BE IN STRICT CONFORMANCE WITH LATEST AMERICAN INSTITUTE OF ARCHITECTURE EDITION, FORM A101 AND B101 (SIGNED OR UNSIGNED).

BUILDING DEPARTMENT NOTES

1. ALL NEW CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE 2022 (CBC) AND 2022 CALIFORNIA RESIDENTIAL CODE (CRC): CMC 2022 CALIFORNIA MECHANICAL CODE, CPC 2022 CALIFORNIA PLUMBING CODE; 2022 ENERGY CODE (T-24), CEC: CG 2022 CALIFORNIA ELECTRICAL CODE AND 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE AND CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE.
2. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS TO BE REMOVED, RELOCATED OR REMAIN INTACT AND HOW THE NEW CONSTRUCTION RELATES TO THE SITE CONDITION. ALL CONSTRUCTION AND INSTALLATION SHALL COMPLY WITH THE LATEST CONDITIONS (STATE/COUNTY/CITY) OF CODES AND ORDINANCES INCLUDING CAL OSHA AND FIRE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CODE COMPLIANCE OF WORK OF EVERY TRADE.
3. "THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL, PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED FROM CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM."
4. CONTRACTOR TO EITHER PROVIDE A PORTABLE TOILET AND HAND WASH STATION PER OSHA REGULATIONS OR SECURE IN ADVANCE WITH OWNER TO USE THERE EXISTING INDOOR ONSITE REST ROOM INSIDE THE HOUSE.
6. FOR HOA CONSTRUCTION RULES AN REGULATIONS, REFER TO HOA ARCHITECTURAL GUIDELINES MANUAL FOR CONSTRUCTION PROCEDURES AND STAGING HOURS
7. ALL DIMENSIONS AND THE SITE CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE JOB SITE PRIOR TO WORK. THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION. ACTUAL FIELD DIMENSION/CONDITIONS SHALL HAVE PRECEDENCE FROM PRINTED DIMENSIONS ON THESE DRAWINGS. REPORT TO ARCHITECT ANY DISCREPANCIES THAT INTERFERES WITH NEW RETROFIT WORK.
8. THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS AND SEQUENCE OF WORK THROUGH UTILIZING ARCHITECT'S DRAWINGS AS INSTRUMENTS FOR INSTRUCTION, NOT THE PRODUCT ITSELF. THE ARCHITECT WILL BE INSTRUMENTAL IN CLARIFYING DRAWING INTERPRETATIONS AND OTHER INQUIRIES DURING BID & CONSTRUCTION IN A TIMELY MANNER. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF FIELD SAFETY, ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS AND ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY INCLUDING TIME SCHEDULES AND TRADE SEQUENCE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
9. DEFERRED SUBMITTALS (ITEMS REQ. SEPARATE PERMIT):
FENCES 6' OR HIGHER, GATES 6' OR HIGHER, ALL UTILITY HOOKUPS GAS/WATER/ELECTRIC, POOL RESURFACING AS THESE ITEMS ARE ALL SEPARATELY SECURED IN THE PERMITTING PROCESS. THE GC SHALL PROPERLY SEQUENCE ALL DISCIPLINES OF DEFERRED ITEMS BY SECURING WITH LOCAL AGENCIES PRIOR TO START OF EXECUTION OF WORK. OTHER MISCELLANEOUS DEFERRED ITEMS FOR SEPARATE PERMITS MAY INCLUDE ITEMS REQUIRING SHOP DRAWINGS NOT MENTIONED ABOVE GENERATED FROM VENDORS/SUPPLIERS AS ALSO MAY NEED SEPARATELY SECURED/PERMITTED W/ CITY PRIOR TO FABRICATION OR INSTALLED WORK. ALL DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN CHECK OR APPROVAL BY THE CITY.
10. ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEF APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS OF RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.
11. ALL PERMITS RELATED TO THE PROPOSED PROJECT SHALL BE ISSUED AT THE SAME TIME, OR, WHERE DEFERRED PERMITS OCCUR PER NOTE 9 OF THIS SHEET OF "BUILDING DEPARTMENT NOTES" FOR INSTRUCTIONS. WHERE SEPARATE PLANS AND PLAN REVIEW WILL BE REQUIRED FOR ITEMS NOT ISSUED WITH THIS REVIEW.
PROVIDE ADDITIONAL PERMIT WORKSHEETS FOR THE FOLLOWING:
 - A. ACCESSORY STRUCTURES, DETACHED PATIO COVERS, AND TRELLISES OR GAZEBOS
 - B. MASONRY OR CONCRETE FENCES OVER 3.5 FT ABOVE GRADE, OR, WITHIN 3 FEET OF THE PROPERTY LINE.
 - C. RETAINING WALLS OVER 4 FT. HIGH FROM THE BOTTOM OF THE FOUNDATION TO THE TO OF THE WALL AND ANY RETAINING WALL WITHIN 3 FT. OF PROPERTY LINE REGARDLESS OF HEIGHT.
 - D. POOL AND WHIRPOOL OR ANY OTHER EXTERIOR IMPROVEMENTS DETACHED FROM THE HOUSE NOT OUTLINED ABOVE

CONSULTANTS

ARCHITECT
John A. Salot Architects <http://ZenArchitect.com>
22386 Woodgrove Road
Lake Forest, CA 92630
Attn: John Salot E-mail: freezingwinds@earthlink.net
Ph 949-235-4847

LANDSCAPE ARCHITECT
Sodder Studio: Landscape Architecture
4612 Mytime Ln, Culver City, CA 90230
Ryan Driek, Landscape Architect Ph 310.795.7994
Email: ryandriek@sodderstudio.com
CA Lic. No. 5170

STRUCTURAL ENGINEERING
Burke Structural Engineers, PC <http://burkese.com/>
151 Kalmus Dr, Bldg E140
Costa Mesa, CA 92626
PH - 657-289-0460
Email: Tom Burke Tom@burkese.com

INTERIOR DESIGNER
Road Ghantous & Associates
32565S Golden Lantern St, #158 Dana Point, CA, 92629
Contact: Road Ghantous PH 949.212.8299
email: road.ghantous@roadghantous.com road.ghantous@gmail.com

GENERAL CONTRACTOR
Americal Construction Management Group
26081 Merit Cir. Ste. 114 Laguna Hills, CA 92653
Allen Monshi PH (949) 287-4261 Lic #949438 "b" class
email: allen@americalgroup.com

	NOTE: IF THIS SET IS NOT 24"x36" SIZE, IT IS NOT TO SCALE CITY PLAN CHECK # PC2023-2585
	INDEX
LANDSCAPE	
L-1	FRONT COVER SHEET
L-2	SITE DEMOLITION PLAN & GRAVEL BANK EROSION CONTROL
L-3	PROPOSED SITE PLAN FLATWORK & ACCESSORIES
L-4	SITE STRUCTURE ELEVATIONS AND DETAILS
LD-1	SITE BMP/DRAINAGE NOTES (MINIMUM CITY STANDARDS)
LD-2	SITE SECTION AND DETAILS
LO.01	LANDSCAPE TITLE SHEET
LO.02	GENERAL NOTES
L1.00	CONSTRUCTION PLAN
L1.01	STAKING PLAN
L1.02	CONSTRUCTION DETAILS
L2.00	IRRIGATION PLAN
L2.01	IRRIGATION DETAILS
L2.02	IRRIGATION DETAILS
L3.00	PLANTING PLAN
L4.00	PLANTING DETAILS
L4.01	WATER USE INFORMATION
L5.00	LIGHTING PLAN
LO.01	CONCEPT PLAN
L2.01	MATERIAL IMAGES
	SEPARATE 8-1/2" X11" DOCS. INCLUDED WITH CONTRACT
1)	HOA DESIGN PACKET IS PART OF THESE DOCUMENTS
	SHOP DRAWINGS (INC)
	DEFERRED SUBMITTAL DRAWING OR SHOP DRAWINGS WILL REQUIRE VIA SEPARATE PERMIT - SEE NOTE #9 THIS PAGE

First Services Residential Property Management
KATIE ONG, LCDM; Architectural Coordinator
for Beachtown #2 Crystal Cove Community Association
23262 Reef Point Drive | Newport Coast, CA 92657
phone: (949) 376-4551 extension #221

NOTE TO CONTRACTOR:
Refer to HOA guidelines to avoid contractor
violations/fines, hours of operations, staging
& unsightly performance during and after
sequencing of work per HOA shfts 49~65

www.fsresidential.com | katie.ong@fsresidential.com

OWNER OWNER/SITE ADDRESS: CONTACT: Ke Wang 18 Archipelago Dr, Newport Coast, CA 92657 714-353-3469 Email: henrymiao777@yahoo.com	PROPERTY ADDRESS 18 Archipelago Dr, Newport Coast, CA 92657
SITE/BUILDING DATA: LOT SIZE: 0.334 ACRE	LEGAL DESCRIPTION Parcel #: 47719102 N TR 15817 BLK LOT 4 and inclusive maps of County of Orange
PROPERTY ZONE: Single Family Residential Planned community (PC52) R1 Zoning District: Newport Coast Planned Community Area 38 – Residential Medium Density.	

NOTE: FOR TABULATIONS OF SQUARE FEET OF PLATE WORK, LANDSCAPE AND IRRIGATION, SEE SHEET LT.01 & LT.02

BRIEF INTRIO: In Newport Coast, a gate guarded neighborhood known as Seaborn at Crystal Cove Regional Community of Residence. The development, a 100-unit residential remodel/addition and site, was permitted last year as #X2022-1106. PG#1016-2022 as this proposed work completes last phase

LANDSCAPE FOR #X2022-1106: Scope includes revision to previous submittal of site/grading plan with new landscape/flatwork at front/sides and rear of lot. Flatwork includes new walkways, patio decks and front and rear parking areas. New Landscape: Original plan included a large pile putting green, water feature fountain, BBQ island, gates/fence screens, pool resurfacing with pool coping replacement, garden wall extension, and new irrigation from adjustment from new landscape materials on site.

(NOTE TO CONTRACTOR: Refer to note #9 this page for deferred submittal items as separate city permits apply to make complete the scope of work mentioned above. Pool contractor with other trades shall interface with general contractor to secure sequence of such work mentioned)

AC	AIR CONDITIONER	H	HIGH (HEIGHT)	SQ	SQUARE	<div style="display: flex; align-items: center;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; margin-right: 10px;">(SEE KEY)</div> <div> <p>SPOT ELEVATIONS REF ABOVE SEA LEVEL (FOOT DECIMAL)</p> <p>TOW = TOP OF WALL (CAP) ELEVATION</p> <p>BW = BOTTOM OF RETAINING WALL FG OR PS AS OCCURS ON PLAN</p> <p>UWC = UPPER RETAINING WALL GRADE AS OCCURS ON PLAN</p> <p>TC = TOP OF CURB ELEVATION</p> <p>PS = PAVED SURFACE ELEVATION</p> <p>FG = FINISH GRADE ELEVATION</p> <p>F.F = FINISH FLOOR ELEVATION</p> <p>TG = TOP OF GRATE OF CATCH BASIN</p> <p>INV = PIPE INVERT ELEVATION</p> <p>FL = MAINTAINED (E) FLOW LINE AT 2% FALL</p> <p>(E) OR (N) = "EXISTING" OR "NEW" ITEM AS INDICATED ON PLANS</p> <p>PA = EXISTING PLANTING AREA</p> <p>(E)FL = (E) FLOW LINE (EXISTING LANDSCAPE SWALES AT 2% SLOPE TO DRAIN)</p> <p>DD = 4" DECK DRAIN FROM 2ND LEVEL ABOVE</p> <p>RWD = RETAINING WALL DRAIN W/ 6" HC Sideout Connector FROM CCW MIRADRAIN 2000 SYSTEM -SEE SHT A-4 LAYOUT OF PIPES AND SHT S-1.1 DETAILS 4 & 7 FOR SPECS/ENGINEERING AND NOTE 16 OF PAGE A-1.6 FOR FOR MINIMUM DRAIN NOTES</p> <p>DS = DOWNSPOUT</p> <p>POC = POINT OF CONNECTION (NEW UG DRAIN TO EXISTING TO MATCH)</p> <p>UG = UNDERGROUND</p> <p>NOTE: FOR ALL OTHER ABBREVIATIONS NOT SHOWN REFER TO SHEET A-1</p> </div> </div>
BLDG	BUILDING	HB	HOSE BIBB	T	TREAD, TOP	
CLR	CLEARANCE	HT	HEIGHT	TOS	TOP OF SLAB	
CONC	CONCRETE	L	LONG (LENGTH)	TYP	TYPICAL	
CONST	CONSTRUCTION	LT	LIGHT	UON	UNLESS OTHERWISE NOTED	
CONT	CONTINUOUS	MAS	MASONRY	VERT	VERTICAL	
D	DEEP (DEPTH)	MAX	MAXIMUM	WP	WATERPROOFING	
DIAM	DIAMETER	MFR	MANUFACTURE(ER)	@	AT	
DIM	DIMENSION	(N)	NEW	O/	OVER	
DN	DOWN	NIC	NOT IN CONTRACT	W/	WITH	
DTL	DETAIL	NTS	NOT TO SCALE			
EA	EACH	OC	ON CENTER(S)			
EW	EACH WAY	OD	OUTSIDE DIAMETER			
EL	ELEVATION	OPNG	OPENING			
ELEC	ELECTRICAL	OPP	OPPOSITE			
EQ	EQUAL	R	RISER			
(E)	EXISTING	RAD	RADIUS			
EXP	EXPOSED	RD	ROOF DRAIN			
EXT	EXTERIOR	REF	REFERENCE			
FF	FINISH FLOOR	REINF	REINFORCE(D)			
FIN	FINISHED	REV	REVISION(S)			
FOC	FACE OF CONCRETE	SF	SQUARE FOOT			
FOF	FACE OF FINISH	SM	SIMILAR			
FOM	FACE OF MASONRY	SPEC	SPECIFICATION(S)			
FTG	FOOTING					

(E) 4" UNDERGROUND DRAIN LINES - FOR CONNECTIONS (E)
TO (E) TRANSITION, SEE NOTE 6 OF SHT A-1.6

(N) 4" UG SDR-35 OR SCH-40 DRAIN LINE (SEE SHT A-1.6
OF NOTE 6 AND NOTE 20 FOR PIPE MATERIALS AND SLOPE

(E) CMU FENCE OR CONC. MOW STRIP CENTERED ON
PROPERTY LINE AS CALLED OUT ON PLAN THE TYPE

(E) BLACK ROD-IRON FENCE

(E) 12" GRATE & CATCH BASIN W/ 3" DIA AREA DRAIN

◇ (E)AD= EXISTING 4" AREA PATIO/DECK DRAIN

◇ (N)AD= NEW 4" AREA DRAIN @ MIN 1% FALL TO STORM SYSTEMS
(RECONNECT FROM (E) 4" DIA UG PIPES

● (E)DS= EXISTING 3" DIA DOWN SPOUT INTO 4" UG PIPE DRAIN

◇ (E)AD= 4" DIA AREA DRAIN @ MIN 1% FALL TO STORM SYSTEMS

(E) ASSUMED PROPERTY LINES
(SEE SHT A-1 PLOT PLAN)

(E) SCE EASEMENT LINE

← (N)(E) = EXISTING OR NEW FG SURFACE -
2% MINIMUM SLOPE GRADE
AT LANDSCAPE CONDITIONS

← (N)(E) = EXISTING OR NEW PAVED SURFACE -
MIN 2% SLOPE @ PAVED COND.
(SEE NOTE #2 OF SHT A-1.6 FOR EXCEPTIONS)

(E) CONTOUR ELEVATIONS

≡ ≡ ≡ 220.00 EL ≡ ≡ ≡

WM = (E) WATER METER (IRWD)

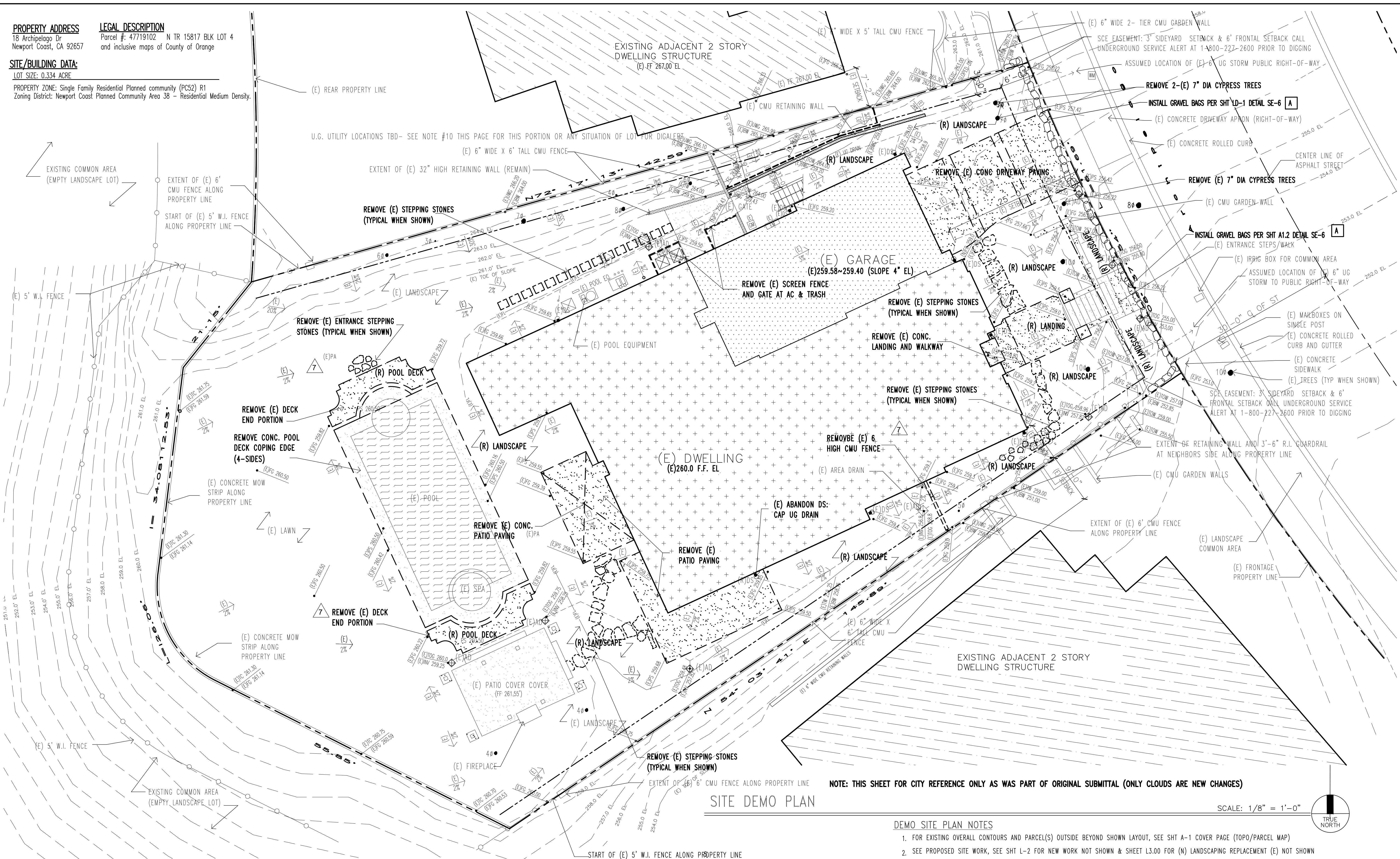
SM = (E) GAS METER

EM = (E) ELECTRIC METER

PROPERTY ADDRESS
18 Archipelago Dr
Newport Coast, CA 92657

LEGAL DESCRIPTION
Parcel #: 47719102 N TR 15817 BLK LOT 4
and inclusive maps of County of Orange

SITE/BUILDING DATA:
LOT SIZE: 0.334 ACRE
PROPERTY ZONE: Single Family Residential Planned community (PC52) R1
Zoning District: Newport Coast Planned Community Area 38 – Residential Medium Density.



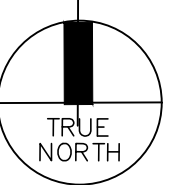
KEY LEGEND/ABBREVIATIONS KEY LEGEND

- | | | | | |
|---|---|---|--|---|
| <p>⬢ = (E) 12" GRATE AND CATCH BASIN W/ 3" DIA AREA DRAIN</p> <p>⬢(E)AD = 4" DIA AREA DRAIN</p> <p>⬢(E)DS = 3" DIA DOWN SPOUT CONNECTED TO 4" UG DRAIN
SEE EXTERIOR ELEVATIONS FOR TYPE</p> <p>⬢(R)AD = 4" DIA AREA DRAIN
(TEMPORARY CAP FOR REROUTE PER SHT A-1.4)</p> <p>⬢(R)DD = 4" DECK DRAIN
(TEMPORARY CAP FOR REROUTE PER SHT A-1.4)</p> <p>⬢(R)DS = 3" DIA DOWN SPOUT INTO 4" UG PIPE DRAIN
(TEMPORARY CAP FOR REROUTE PER SHT A-1.4)</p> | <p>⬢ = (E) BLACK ROD-IRON FENCE</p> <p>⬢ = (E) CMU FENCE OR CONC. MOW STRIP CENTERED ON
PROPERTY LINE AS CALLED OUT ON PLAN THE TYPE</p> <p>8" = (E) TREE (DIA SIZE IN INCHES PER DRAWING)</p> <p>⬢ = (E) STEPPING STONES TO BE REMOVED</p> | <p>⬢ = (E) ASSUMED PROPERTY LINES</p> <p>⬢ = (E) SCE EASEMENT LINES</p> <p>⬢ = (E) 2% MINIMUM SLOPE GRADE OR SURFACE</p> <p>⬢ = (E) WATER METER (IRWD)</p> <p>⬢ = (E) GAS METER</p> <p>⬢ = (E) ELECTRIC METER</p> <p>⬢ = REMOVED EXISTING LANDSCAPE OR
SITE ELEMENT AS NOTED PER PLAN</p> | <p>⬢ = (E) DWELLING FOOTPRINT</p> <p>⬢ = (E) ATTACHED GARAGE FOOTPRINT</p> <p>⬢ = (E) 5' DEEP POOL</p> | <p>⬢ = (E) CONCRETE PATIO PAVING (REMOVED)</p> <p>⬢ = (E) PAVING TO REMAIN OF
CONCRETE OR SANDSTONE</p> <p>⬢ = (E) OFF SITE STRUCTURES
OF NEIGHBORING HOMES</p> |
|---|---|---|--|---|

NOTE: THIS SHEET FOR CITY REFERENCE ONLY AS WAS PART OF ORIGINAL SUBMITTAL (ONLY CLOUDS ARE NEW CHANGES)

SITE DEMO PLAN

SCALE: 1/8" = 1'-0"



DEMO SITE PLAN NOTES

- FOR EXISTING OVERALL CONTOURS AND PARCEL(S) OUTSIDE BEYOND SHOWN LAYOUT, SEE SHT A-1 COVER PAGE (TOPO/PARCEL MAP)
- SEE PROPOSED SITE WORK, SEE SHT L-2 FOR NEW WORK NOT SHOWN & SHEET L3.00 FOR (N) LANDSCAPING REPLACEMENT (E) NOT SHOWN
- SEE SHEET LD-1 FOR BMP REQUIREMENTS AS GENERAL SITE MANAGEMENT BMP'S SHALL BE MAINTAINED/IMPLEMENTED ON PROJECT SITE AT ALL TIMES.
- PROTECT IRRIGATION LINES AND CAP ABANDONED LINES FOR CONTINUAL IRRIGATION OPERATION – HAND WATER IF NECESSARY DRY SPOTS TO PROTECT ALL EXISTING LANDSCAPING TO REMAIN.
- FOR PROPOSED WORK SEE SHEET LD-2 FOR SITE PLAN AND L3.00 FOR LANDSCAPE PLAN
- WHERE EXISTING HARD-SCAPES AND LANDSCAPE TO BE PROTECTED TO CLEANLY CUT ALTERED AREAS FOR JOINERY OF RETROFIT THUS KEEPING THE INTEGRITY OF SEAMLESS TRANSITIONS BETWEEN NEW AND EXISTING WORK. – SEE DRAINAGE/GRADING PLAN SHEET LD-1 FOR PROPOSED WORK
- PROTECT AND SAFEGUARD FROM DAMAGES ALL EXISTING CONSTRUCTION AND LANDSCAPE TO REMAIN. SET UP A KICK-OFF MEETING W/ OWNER TO CLARIFY PRIOR TO WORK. COMPARE DEMO FLOOR PLAN WITH PROPOSED SITE & BUILDING PLAN FOR ADDITIONAL INFORMATION NOT SHOWN ON PLAN.
- A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5' AND FOR SHORING OR UNDERPINNING.
- CONTRACTOR TO LOCATE AND VERIFY EXISTENCE OF UTILITY LINES AND SEWER LATERALS PRIOR TO START OF GRADING/CONSTRUCTION. (LOCATIONS SHOWN FOR EXISTING UTILITIES ARE APPROXIMATE).
- PRIOR TO DEMOLITION, CONTACT DIGALERT BEFORE EXCAVATION. YOU CAN INITIATE A TICKET BY EITHER UTILIZING DIGALERT DIRECT OR BY CALLING 811 OR 800-422-4133 TO START A DIGALERT TICKET AND ASCERTAIN ALL EXISTING UNDERGROUND UTILITIES OF GAS, WATER, AND SCE

REVISIONS	NO.
8	city submittal 11-10-23 pool improvements

Brie Pool Plastering
13301 Hubbard Street
Sylmar, CA 91342
(818) 974-2498
email: brie@poolcon@gmail.com
License # 976733 c53

CONTRACTOR

JOHN A. SALAT ARCHITECTS
22386 Woodgrove Road, Lake Forest, CA 92630
PH 949-235-4847 email: freeingbirds@earthlink.net
zenarchitect.com

architect

LANDSCAPE IMPROVEMENTS
Ke Wang Residence
site demolition
& gravel bag erosion control

OWNER REP/SITE ADDRESS:
Henry Miao
18 Archipelago Drive
Newport Coast, CA 92657
ph 714-353-3469 Email: henrymiao777@yahoo.com

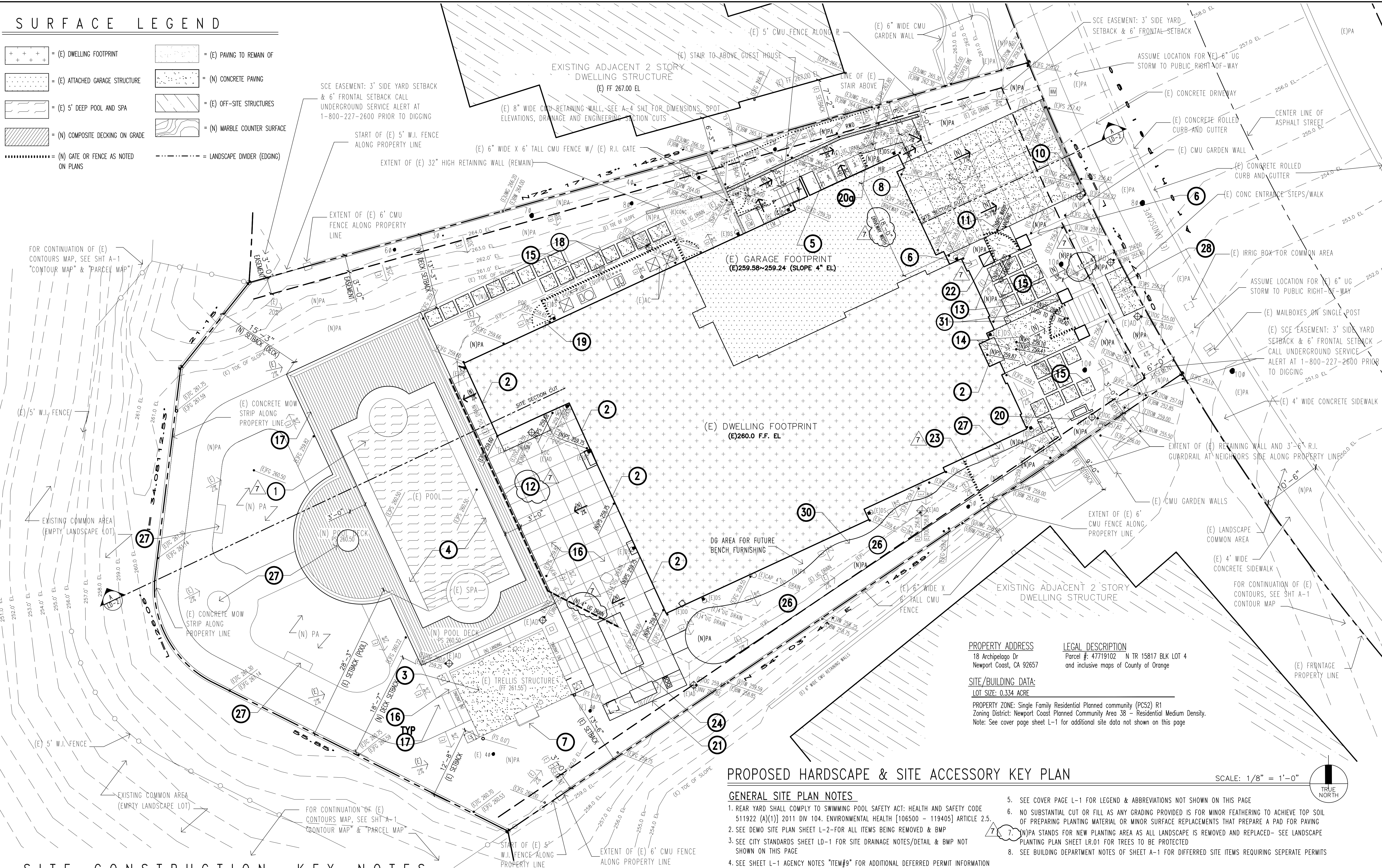


DRAWN	JS
CHECKED	JS
DATE	SEE REVISION BOX ABOVE FOR DATE
SCALE	AS NOTED ON PLANS
JOB NO.	
SHEET	

L-2

SURFACE LEGEND

	= (E) DWELLING FOOTPRINT		= (E) PAVING TO REMAIN OF
	= (E) ATTACHED GARAGE STRUCTURE		= (N) CONCRETE PAVING
	= (E) 5' DEEP POOL AND SPA		= (E) OFF-SITE STRUCTURES
	= (N) COMPOSITE DECKING ON GRADE		= (N) MARBLE COUNTER SURFACE
	= (N) GATE OR FENCE AS NOTED ON PLANS		= LANDSCAPE DIVIDER (EDGING)



SITE CONSTRUCTION KEY NOTES

- 1 (E) POOL W/ NEW SURFACE TREATMENT (REPLASTERING OR RESURFACING) & POOL COPING (ITEM DEFERRED PER NOTES #9, #10, & #11 OF SHEET A-1)
- 2 ALL NEW LANDINGS AT ALL OPERABLE DOORS TO MATCH MINIMALLY THE LENGTHS OF DOOR WIDTH; EXTEND A MINIMUM OF 36" IN THE DIRECTION OF TRAVEL OF THE DOORS LANDING SERVED PER R311.3
- 3 (E) TRELLIS STRUCTURE (REPAINT RESTORE AS SAME COLOR TRIM)
- 4 (N) POOL DECK COPING EDGE PER LANDSCAPE
- 5 (N) 4" THICK X 9'L X 4"W CONCRETE PAD FOR 3-TRASH CONTAINERS
- 6 OMIT
- 7 EXISTING FIREPLACE TO REMAIN
- 8 (N) 3' WIDE SIDEWALK PER 1, 2 & 3 OF LD-2
- 9 (N) CONTINUOUS TRENCH DRAIN AT FULL WIDTH OF DRIVEWAY PER DET 5/LD-2 & "E" OF SHT LD-1
- 10 (N) CONTINUOUS TRENCH DRAIN AT FULL WIDTH OF DRIVEWAY PER DET 5/LD-2 & "E" OF SHT LD-1
- 11 WARPED LANDING AT GATE TO MEET DRIVEWAY AS A FLUSH SURFACE
- 12 PROVIDE (N) CONT. TRENCH DRAIN BETWEEN MARBLE & DECKING BD PER 9/LD-2
- 13 (N) 6' HIGH SQUARE CMU PILASTERS PER DETAIL 5/L-4
- 14 (N) 30" SQ DECORATIVE CONC STEPPING STONES PER DET 12/LD-2
- 15 (N) 30" SQ DECORATIVE CONC STEPPING STONES PER DET 12/LD-2
- 16 (N) 3' WIDE SIDEWALK PER 1, 2 & 3 OF LD-2
- 17 (N) COMPOSITE DECK BOARDS AT 2" ABOVE GRADE, SEE DETAIL 9/LD-2
- 18 DECOMPOSED GRANITE SURFACE W/ BROWN LANDSCAPE EDGING PER 12/LD-2
- 19 (N) 52" HIGH EQUIP, SCREEN & GATE PER DET 8 & 9 OF SHT L-4
- 20 (N) PREFAB FOUNTAIN UNIT GRAVITY REST PER NOTE 05 OF SHT L1.00
- 21 36" HIGH BBQ ISLAND (36"x180") W/ BBQ/COOKTOP/SINK/REFRIG PER DET 2/L-4 "ELEVATION"
- 22 (N) 2 RISER STEPS W/ LOWER LANDING WARP TO MEET DRIVEWAY EDGE PER DET 7/LD-2
- 23 (N) 6' HIGH WROUGHT-IRON FENCE PER DET 11/L-4
- 24 ISLAND (42" BAR STOOL SIT HEIGHT) 120"x52" PER DETAIL 2/L-4
- 25 (N) 30" SQ STEPPING STONES SPACED 6" APART, SEE DET 13/LD-2
- 26 (N) PUTTING GREEN GOLF AREA W/ SYNTHETIC TURF & 4.25" CUP(S) SEE LANDSCAPE PLAN L1.00 FOR DETAILS AND MATERIALS
- 27 LANDSCAPE FURNISHING ITEM: SEE LANDSCAPE PLANS LR.01
- 28 (N) STAIR LANDING REPLACEMENT TO MATCH ADJACENT CONC DRIVEWAY IN COLOR, SCORE LINES AND TEXTURE PER 2/LD-2 & 6/LD-2
- 29 (N) 16' WIDE GREY CONC DRIVEWAY W/ SCORE LINES SPACED AS SHOWN W/ SALT TEXTURE FINISH PER 2/LD-2, 6/LD-2 & L1.0
- 30 DECOMPOSED GRANITE SURFACE AND PUTTING GREEN LAWN SURFACE TRANSITION W/ DIVIDER OF BENDABLE BROWN LANDSCAPE EDGING PER LANDSCAPE SHT L1.00
- 31 (N) CONCRETE TREAD AND RISERS TO MATCH WALKWAY W/ 12" TREAD & (1) 6" RISERS AS SHOWN ON PLAN

PROPOSED HARDSCAPE & SITE ACCESSORY KEY PLAN

GENERAL SITE PLAN NOTES

1. REAR YARD SHALL COMPLY TO SWIMMING POOL SAFETY ACT: HEALTH AND SAFETY CODE 511922 (A)(1) 2011 DIV 104. ENVIRONMENTAL HEALTH [106500 - 119405] ARTICLE 2.5.
2. SEE DEMO SITE PLAN SHEET L-2-FOR ALL ITEMS BEING REMOVED & BMP
3. SEE CITY STANDARDS SHEET LD-1 FOR SITE DRAINAGE NOTES/DETAIL & BMP NOT SHOWN ON THIS PAGE
4. SEE SHEET L-1 AGENCY NOTES "ITEM#9" FOR ADDITIONAL DEFERRED PERMIT INFORMATION
5. SEE COVER PAGE L-1 FOR LEGEND & ABBREVIATIONS NOT SHOWN ON THIS PAGE
6. NO SUBSTANTIAL CUT OR FILL AS ANY GRADING PROVIDED IS FOR MINOR FEATHERING TO ACHIEVE TOP SOIL OF PREPARING PLANTING MATERIAL OR MINOR SURFACE REPLACEMENTS THAT PREPARE A PAD FOR PAVING
7. NPA STANDS FOR NEW PLANTING AREA AS ALL LANDSCAPE IS REMOVED AND REPLACED- SEE LANDSCAPE PLANTING PLAN SHEET LR.01 FOR TREES TO BE PROTECTED
8. SEE BUILDING DEPARTMENT NOTES OF SHEET A-1 FOR DEFERRED SITE ITEMS REQUIRING SEPERATE PERMITS

REVISIONS NO.

8 city submittal 11-10-23 pool improvements

Brie Pool Plastering
13301 Hubbard Street
Sylmar, CA 91342
(818) 974-2498
email: brieplaster@gmail.com
License # 976733 c53

JOHN A. SALAT ARCHITECTS
22386 Woodgrove Road, Lake Forest, CA 92630
PH 949-235-4847 email: freigning@earthlink.net
zenarchitect.com

architect

LANDSCAPE IMPROVEMENTS
Ke Wang Residence
site hardscape
&
site accessories

OWNER REP/SITE ADDRESS:
Henry Miao
18 Archipelago Drive
Newport Coast, CA 92657
ph 714-353-3469 Email: henrymiao77@yahoo.com



DRAWN
J5
CHECKED
J5
DATE
SEE REVISION BOX ABOVE FOR DATE
SCALE
AS NOTED ON PLANS
JOB NO.
SHEET

L-3

1 OF (REF TO INDEX) SHEETS

Standard Plan Issue Date: JANUARY 1, 2020

City of Newport Beach 2019.v1.12-17-2020

Community Development/ Building Division

2019 CBC & CRC

LIMITS OF APPLICABILITY

USE OF THIS DOCUMENT SHALL NOT PERMIT THE APPLICANT TO MODIFY ANY PORTION(S) OF THIS PLAN OR THESE DETAILS.

BUILDING DIVISION

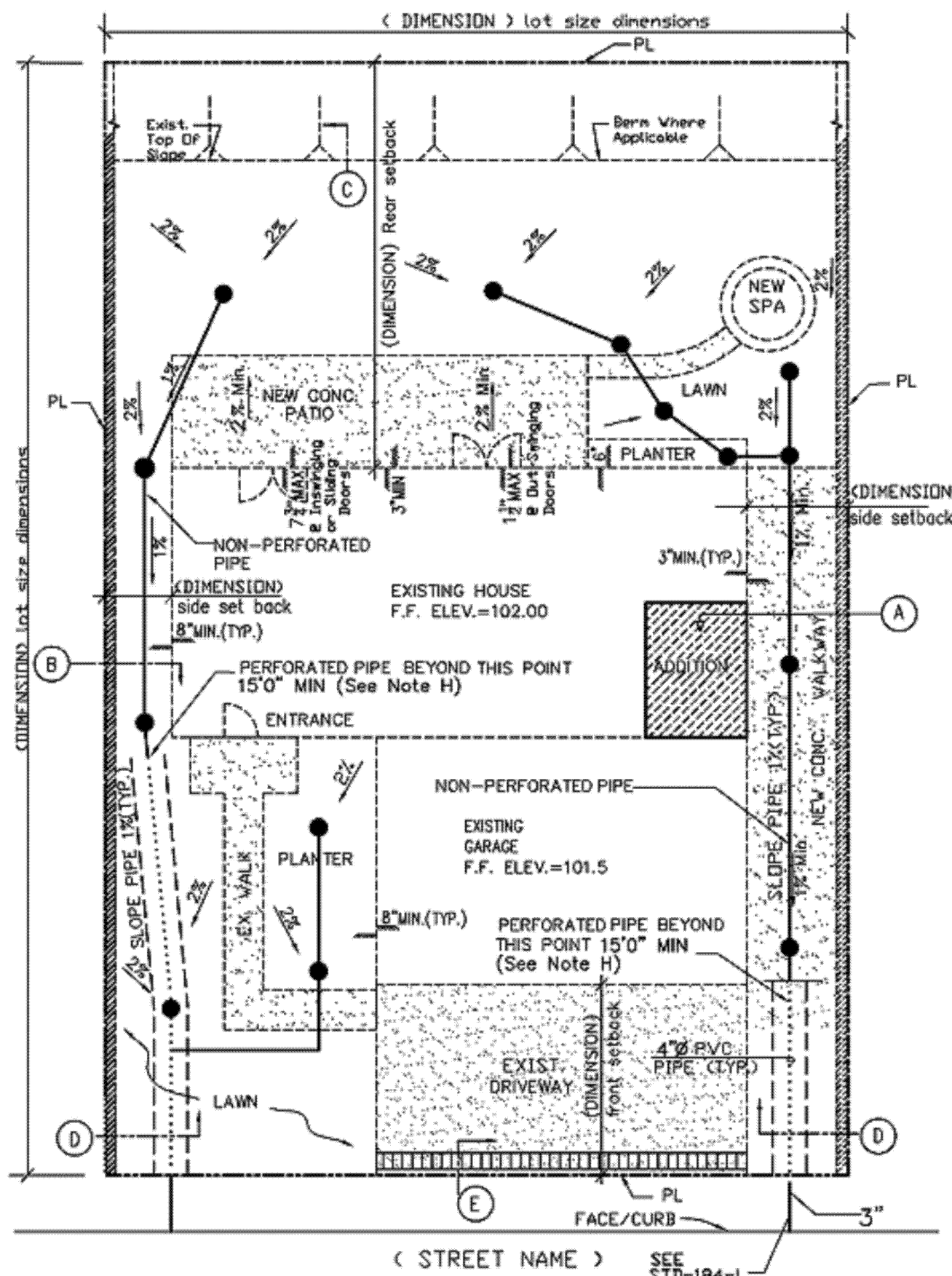
STANDARD RESIDENTIAL MINOR DRAINAGE ALTERATION PLAN

DRAWING BY PROFESSIONAL ENGINEER OR ARCHITECT IS REQUIRED FOR LANDSCAPE/COMPLEX HARDSCAPE PROJECTS WITH OUTDOOR STRUCTURE(S) (RETAINING WALLS, PATIO COVERS, FIREPLACES, GAZEBO, STAIRS, ETC.)

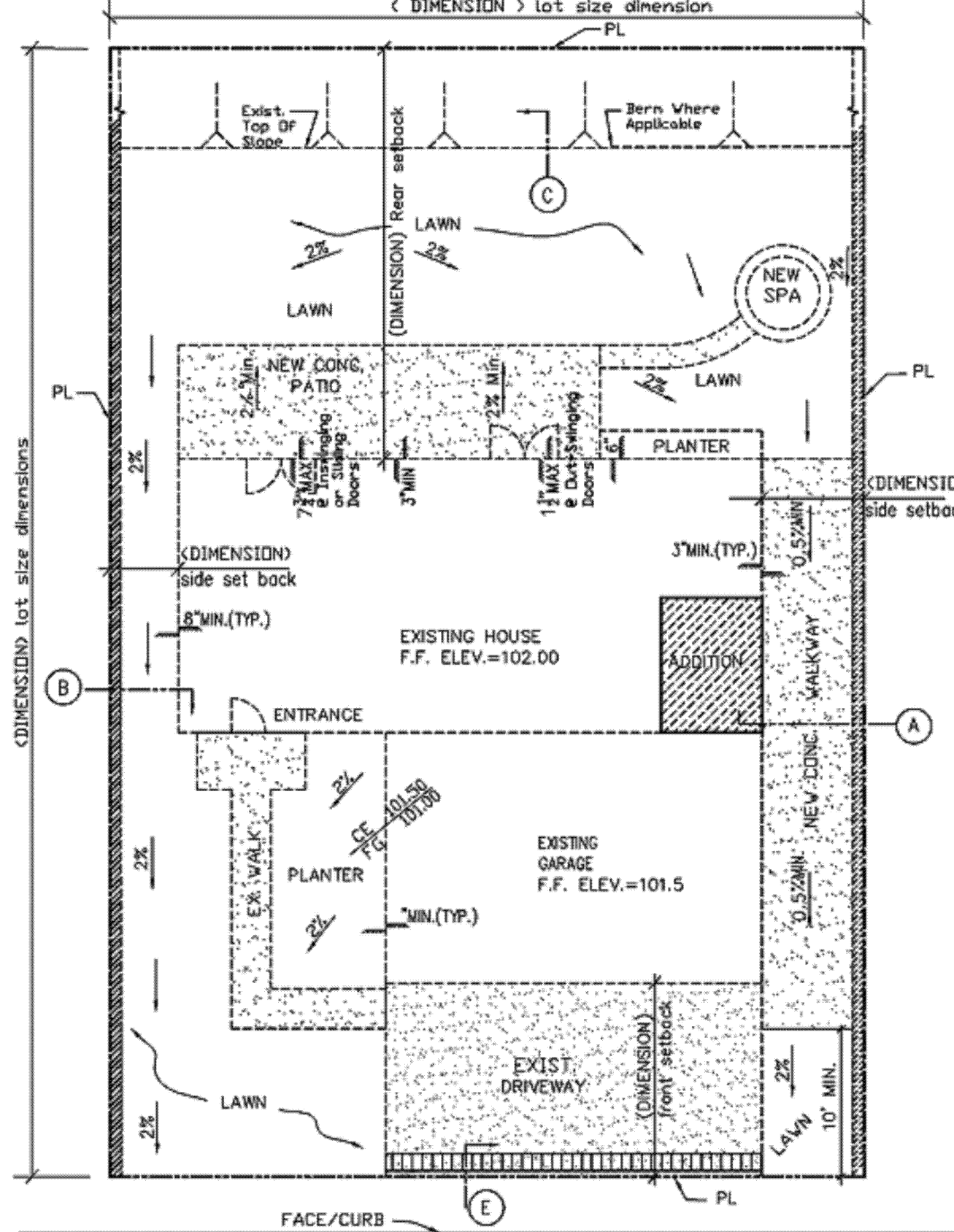


INSTRUCTIONS

- Refer to the applicable sample drainage plan and sketch a similar drainage plan for your property in the space provided to your right showing the following:
- Show footprint of the property and identify existing and addition portion (as applicable).
 - Identify ALL property lines.
 - Distinguish between existing hardscape and landscape and new/proposed hardscape and landscape improvements.
 - Show locations of all existing buildings, structures, pools, fences, retaining walls, etc.
 - Show locations of all existing slopes on and adjacent to the property.
 - All surfaces shall be designed to drain at the following minimum gradients. Use arrows to indicate direction of drainage plan.
Minimum gradients for drainage, NBMC 15.10.120(F):
 - Paved 0.5% (min.)
 - Not paved 2 %
 - Positive drainage shall be maintained away from all building (Minimum 2' within 10' 0" of the building) and slope areas.
CRC R401.3
 - Show proposed location of area drains if a drain line system is proposed.
 - Show trench drain in front of driveway (not required if driveway is less than 10' long or driveway is existing to remain).
 - Show location of perforated pipe and percolation trench. Locate perforated pipe away from foundations. (15' min. per every 2000 sq. ft. of area). NBMC 15.10.120(4)(C)
 - Provide a drain in planter if required for Drainage.
 - Reference the applicable swale section on plan.
 - Show slope of drain lines (1% min.) CPC 814.3
 - Select one of the drain line materials listed below and specify on plan. Minimum pipe size to be 4" (NBMC 15-10-120)
 - ABS, SDR 35
 - ABS, Schedule 40
 - PVC, SDR 35
 - PVC, Schedule 40
 - ADS 3000 with PE glued joints
 - The minimum clearance between exterior finish grade and bottom of treated sill plate shall be 3" for paved exterior surfaces and 8" between the bottom of the sill plate and grade.
 - Design drainage to ensure water does not drain over the top edge of any slopes. Provide a berm at top of slope. Draw a section through berm. Berm to be 12" high and slopes towards the pad, See Detail "C". Discharge of water over slopes is prohibited. NBMC 15.10.060
 - Show top and toe of all slopes and indicate slope ratio. Maximum slope ratio 1:2.
 - Obtain an encroachment permit from Public Works for improvements within utility easement of public right-of-way including installing a pipe to drain through the curb.



Example of a Drainage Plan Using Surface Lines



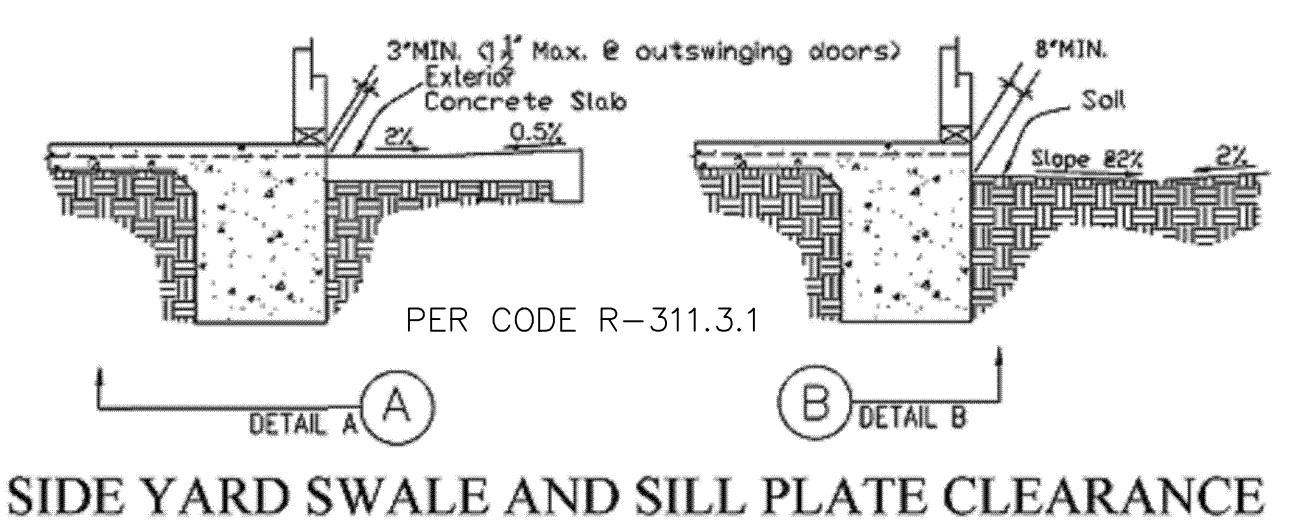
Example of a Surface Drainage Plan

GENERAL NOTES

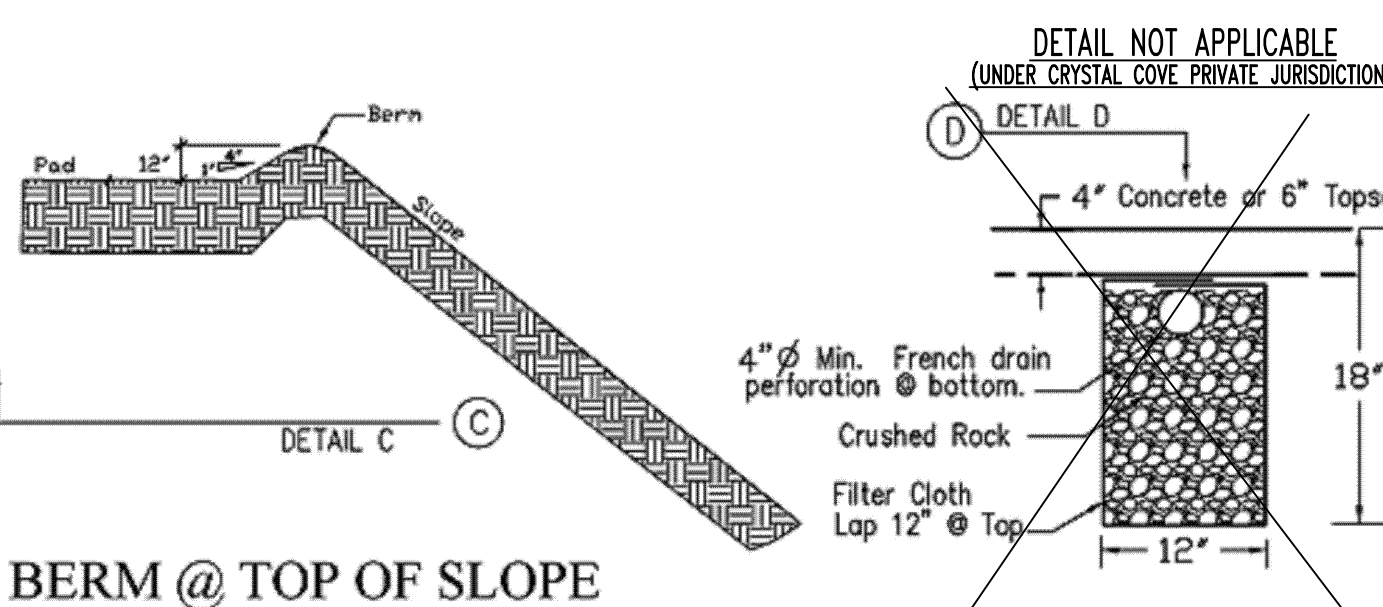
- All work shall conform to Chapter 15 of the Newport Beach Municipal Code (NBMC).
- Work hours are limited from 7:00 AM to 6:30 PM MONDAY through FRIDAY, 8:00 AM to 6:00 PM SATURDAYS, and NO WORK ON SUNDAYS AND HOLIDAYS per Section 10-28-040 of the NBMC.
- Noise from excavation, delivery, and removal shall be controlled per Section 10-28-040 of the NBMC.
- The stamped set of approved plans shall be on the job site at all times.
- Drainage system shall be designed to retain concentrated and surface sheet flow from dry weather and runoff and minor rain events within the site. NBMC 15.10.120
- Failure to request inspections and/or have removable erosion control devices on-site at the appropriate times shall result in stop work order. NBMC 15.10.140
- No paint, plaster, cement, soil, mortar or other residue shall be allowed to enter streets, gutters or storm drains. All material and waste shall be removed from the site. NBMC 15.10.020
- Between October 15 and May 15, erosion control measures shall be in place at the end of each working day whenever the five-day probability of rain exceeds 30 percent. During the remainder of the year, they shall be in place at the end of the working day, whenever the daily rainfall probability exceeds 50 percent. NBMC 15.10.140
- Separate building permits are required for free standing structures (Fences, Retaining Walls, Gazebo, Patio Cover, etc.)

REQUIRED INSPECTION

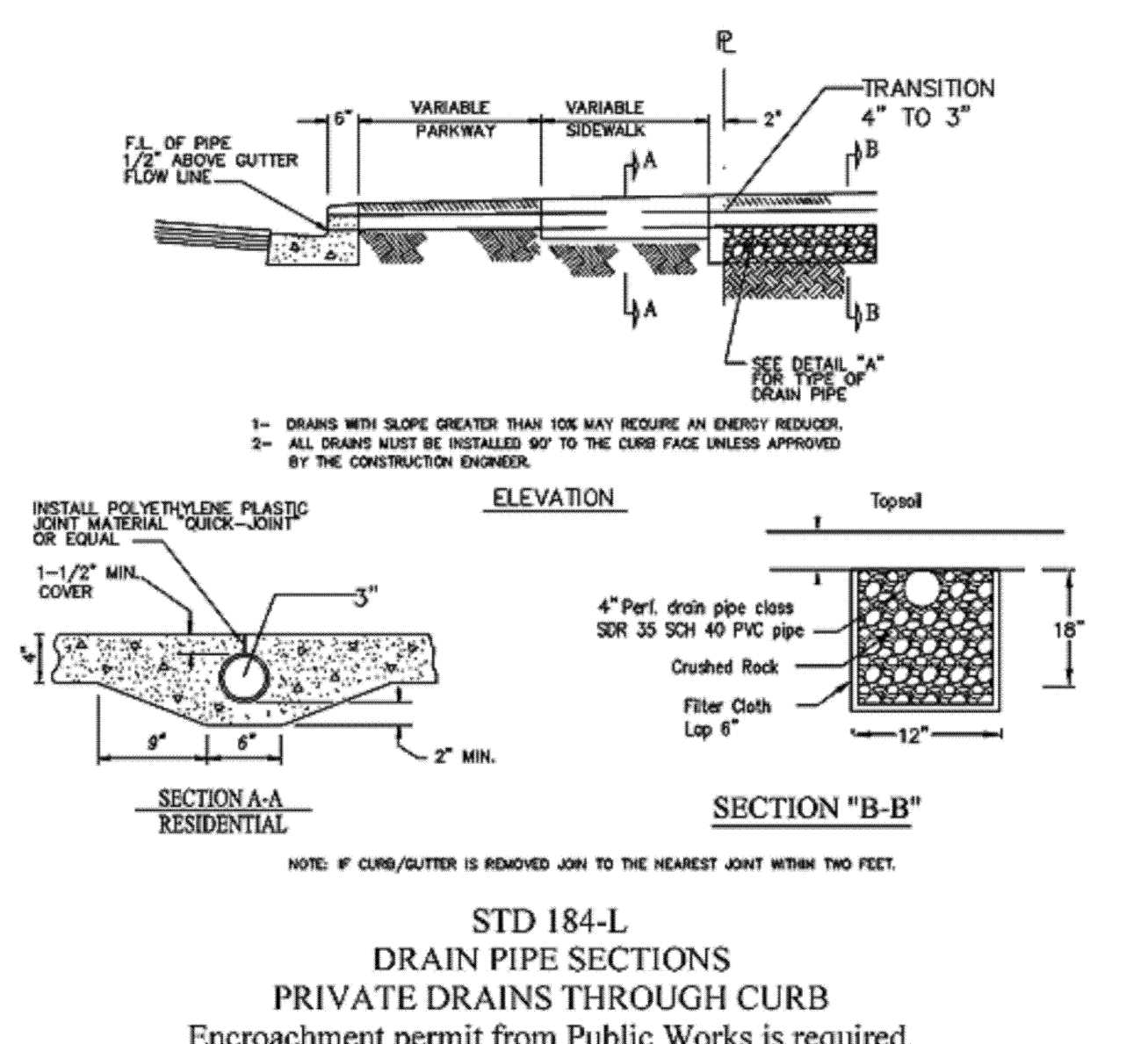
- Drainage Pipe
- Final Inspection



SIDE YARD SWALE AND SILL PLATE CLEARANCE



BERM @ TOP OF SLOPE



STD 184-L DRAIN PIPE SECTIONS
PRIVATE DRAINS THROUGH CURB
Encroachment permit from Public Works is required.

GENERAL NOTE:

THIS SHEET IS SUPPLIED BY CITY AS A STANDARD TEMPLATE FOR SITE WORK AND NOT TO BE ALTERED. NOT ALL NOTES, DETAILS AND SPECIFICATIONS MAY APPLY TO THIS PROJECT AS INFO OFFERS GENERAL GUIDELINES ONLY. GC SHALL USE DISCRETIONARY MEANS AS DIRECTED BY BUILDING OFFICIALS/INSPECTORS TO ITEMS APPLICABLE.

THE FOLLOWING GENERAL SITE MANAGEMENT BMP'S SHALL BE MAINTAINED/IMPLEMENTED ON PROJECT SITE AT ALL TIMES.

LEGEND

- EC-1: SCHEDULING
EC-2: PRESERVATION OF EXISTING VEGETATION
EC-4: HYDROSEEDING: EARTHGUARD @ 2000#/AC
NS-1: WATER CONSERVATION PRACTICES
NS-3: PAVING AND GRINDING OPERATION
NS-6: ILLICIT CONNECTION/ILLEGAL DISCHARGE
SE-1: SILT FENCE
SE-5: FIBER ROLLS
SE-6: GRAVEL BAG BERM
SE-7: STREET SWEEPING AND VACUUMING
SE-10: STORM DRAIN INLET PROTECTION
WE-1: WIND EROSION CONTROL
WM-1: MATERIAL DELIVERY & STORAGE
WM-2: MATERIAL USE
WM-3: STOCKPILE MANAGEMENT
WM-4: SPILL PREVENTION AND CONTROL
WM-5: SOLID WASTE MANAGEMENT
WM-6: HAZARDOUS WASTE MANAGEMENT
WM-8: CONCRETE WASTE MANAGEMENT
WM-9: SANITARY/SEPTIC WASTE MANAGEMENT
TC-1: STABILIZATION CONSTRUCTION ENTRANCE/EXIT

EROSION CONTROL NOTES

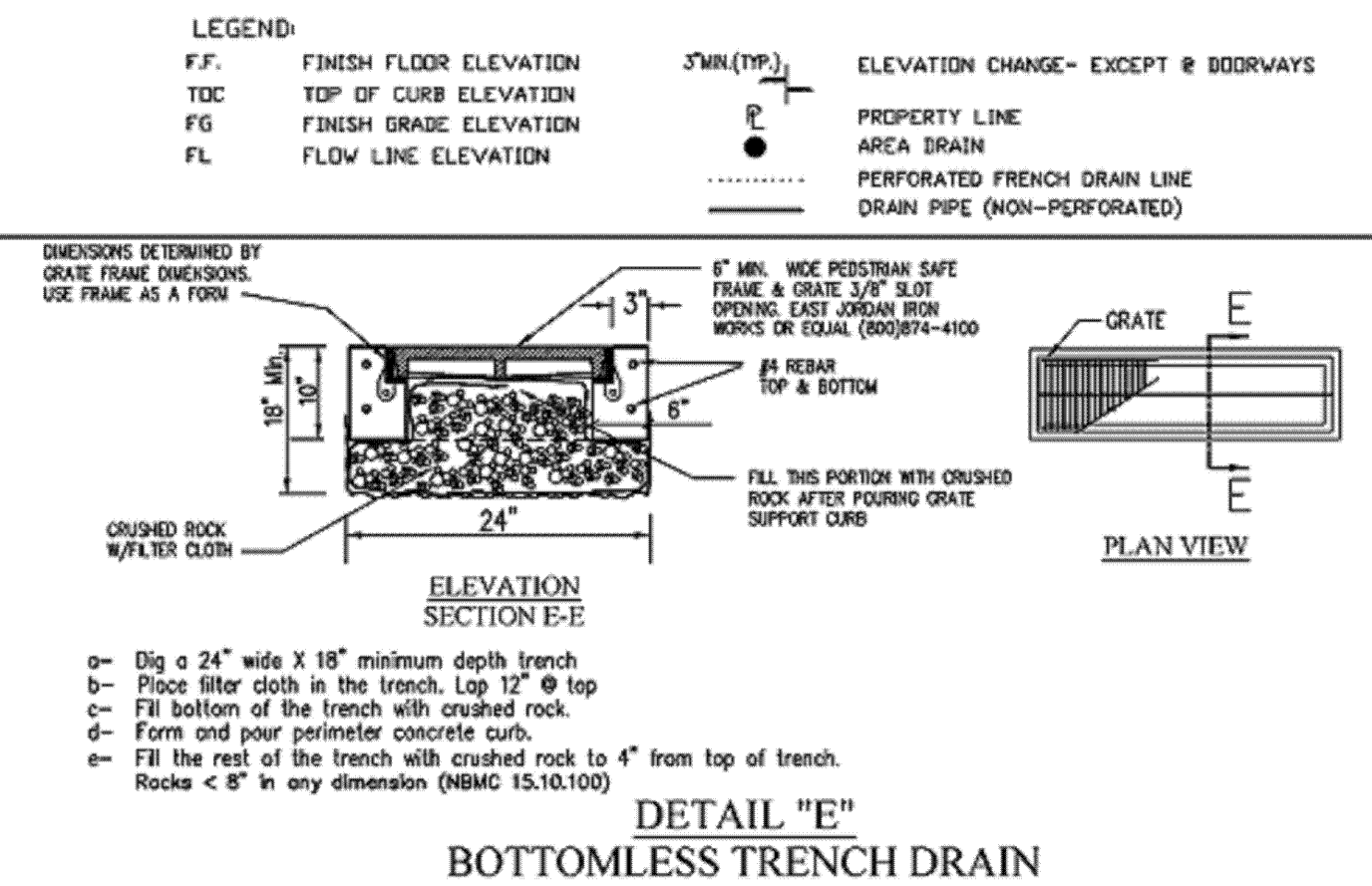
DETAILS BELOW ARE PER THE "CALIFORNIA BEST MANAGEMENT PRACTICES HANDBOOK".

EROSION CONTROL NOTES:

- INSTALL GRAVEL BAGS PER DETAIL SE-6.
INSTALL SILT FENCE SE-1.
GRAVEL BAG DETAIL.
TWO OR THREE LAYERS OF GRAVEL BAGS WITH ENDS OVERLAPPED.
NO GAP BETWEEN BAGS.
PLACE W/SCREEN BETWEEN UPPER BAGS.

SITE PLAN

NOTE: IT IS THE RESPONSIBILITY OF THE PERMITTEE TO MAKE SURE THAT ALL WORK COMPLIES WITH THE NEWPORT BEACH STANDARD DRAINAGE PLAN. NO PLAN REVIEW IS PERFORMED ON THE SITE PLAN PRIOR TO THE PERMIT ISSUANCE. COMPLIANCE WILL BE VERIFIED BY BUILDING DEPARTMENT INSPECTOR



SCOPE OF WORK:	
PROJECT ADDRESS:	
OWNER'S NAME:	PLAN PREPARER:
TEL. NO.:	CONTACT INFO:
SIGNATURE:	LICENSE NO.:

Filename: 2019 Drainage v1.DWG

NOTE: THIS SHEET FOR CITY REFERENCE ONLY AS WAS PART OF ORIGINAL SUBMITTAL (ONLY CLOUDS ARE NEW CHANGES)

CITY STANDARDS SITE DRAINAGE NOTES/DETAIL & BMP NOTES

NO SCALE

Contractor shall exercise the responsibility with architect in securing latest approved drwgs. prior to actually executing work.

NO./REVISION/DATE

8 city submittal 11-10-23 pool improvements

Brite Pool Plastering
13301 Hubbard Street
Symmar, CA 91342
(818) 974-2498
email: britepoolca@gmail.com
License # 976733 G53

CONTRACTOR

JOHN A. SALAT ARCHITECTS
22386 Woodgrove Road, Lake Forest, CA 92630
PH 949-235-4847 email: freejwinds@earthlink.net
zenarchitect.com

architect

LANDSCAPE IMPROVEMENTS
Ke Wang Residence
STANDARDS SITE DRAINAGE
NOTES/DETAIL & BMP NOTES

OWNER REP/SITE ADDRESS:
Henry Miao
18 Archipelago
Newport Coast, CA 92657
ph 714-353-3469 Email: henrymiao77@yahoo.com



DRAWN
5
CHECKED
5
DATE
SEE REVISION BOX ABOVE FOR DATE
SCALE
AS NOTED ON PLANS
JOB NO.
SHEET

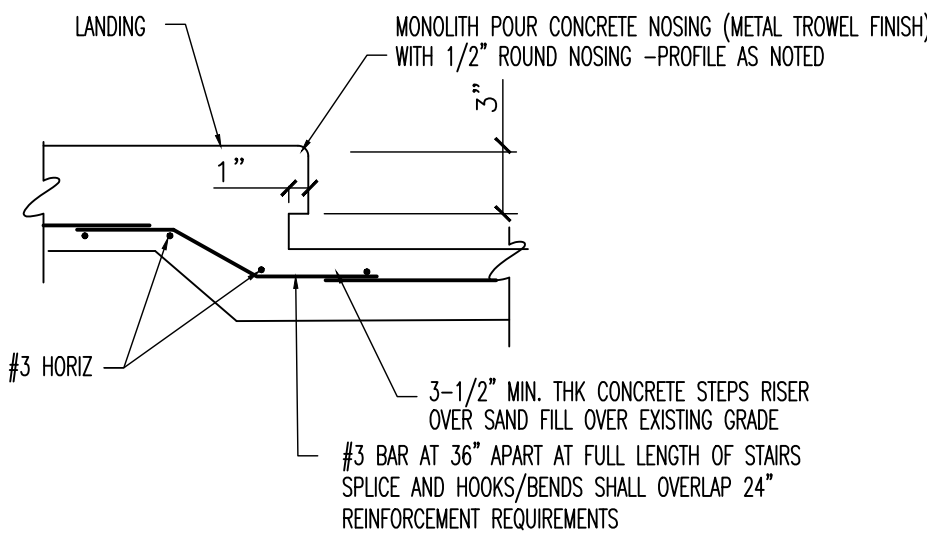
LD-1

SITE SLAB NOTES:

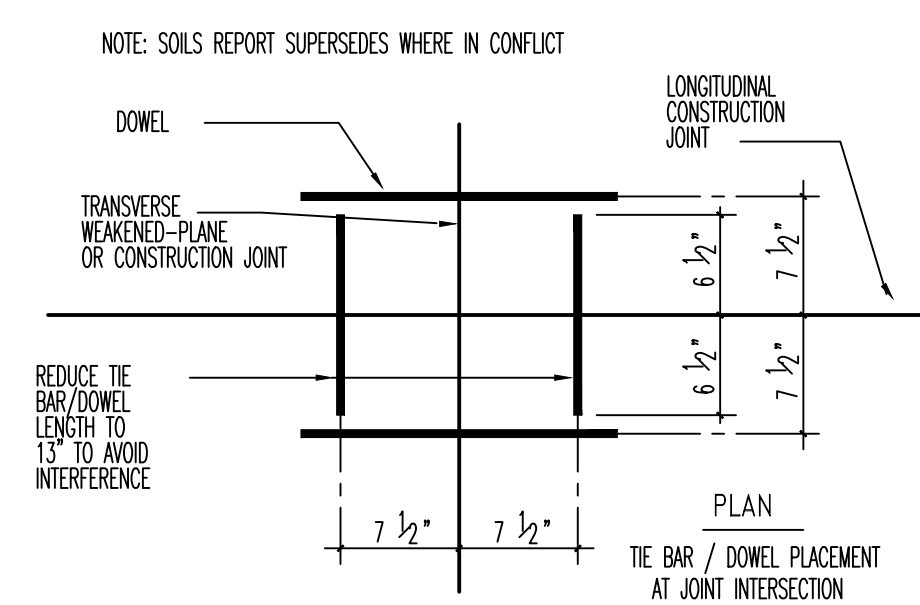
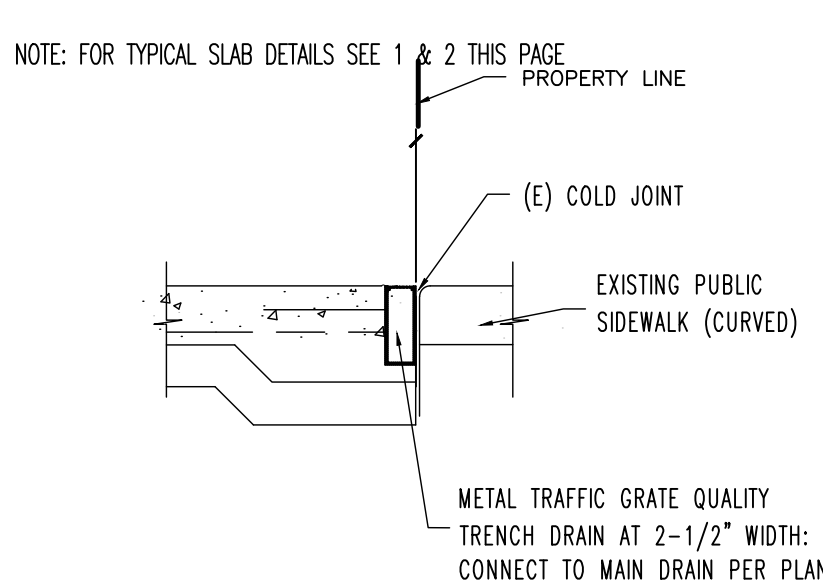
- GENERAL: ALL WORK SHALL CONFORM TO THE 2022 CBC-- REFER TO LANDSCAPE DRAWING DETAILS AS WHERE IN CONFLICT, THE MOST STRINGENT THAT APPLIES
- SOIL AND BASE
1. REFER TO SOILS REPORT WHERE IN CONFLICT FOR SLAB SAND BASE, SLAB THICKNESS AND COMPACTING REQUIREMENTS AS MOST RESTRICTIVE APPLY
 2. NO SITE GRADING REQUIRED AFTER REMOVING THE EXISTING CONCRETE WITHOUT DISTURBING ANY SOIL. PROVIDE 2" BASED AND PLATE COMPACTION. IF ANY BACK FILLING DOES OCCUR, ALL BACK-FILL SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM RELATIVE DENSITY.
 3. FOR (N) REAR CONCRETE PATIO DECK ON GRADE: PROVIDE 24x24 #4 REINF
 4. FOR (N) CONCRETE SLAB FOOTING EDGE, PROVIDE 12W x12D FOOTING W/ 1 #4 AT TOP & BOTTOM OF FOOTING

CONCRETE MATERIAL SPECIFICATIONS:

1. CONCRETE: MINIMUM CONCRETE STRENGTH SHALL BE 2,500 PSI. FOR CONCRETE EXPOSED TO EARTH W/ CEMENT-WATER RATIO OF 0.45 AND TYPE V CEMENT
 - a. CEMENT SHALL CONFORM TO ASTM C150, TYPE I, II, OR III PORTLAND CEMENT.
 - b. HARD-ROCK AGGREGATES SHALL CONFORM TO ASTM C33. THEIR MAXIMUM SIZE SHALL BE 1 -1/2 INCHES FOR FOOTINGS, CAISSONS, AND GRADE BEAMS AND ONE INCH FOR ALL OTHER WORK.
 - c. LIGHTWEIGHT AGGREGATES (CONFORM TO ASTM C330) SHALL BE APPROVED AND THEIR MAXIMUM SIZE SHALL BE 1/2 INCH.
 - e. ONLY ONE GRADE OF CONCRETE SHALL BE POURED ON THE JOB AT ONE TIME.
 - g. CONCRETE COVER OVER REINFORCING SHALL BE AS FOLLOWS:
 1. POURED AGAINST EARTH 3"
 2. EXPOSED TO EARTH, BUT POURED AGAINST FORMS 2"
- REINFORCING INSTALLATION
5. REINFORCING STEEL:
 - a. ALL REINFORCING STEEL SHALL BE NEW STOCK DEFORMED BARS CONFORMING TO ASTM A 615 AS FOLLOWS UNLESS OTHERWISE SHOWN:
 1. #5 AND SMALLER GRADE 40 OR 60
 2. #6 AND LARGER GRADE 60
 - b. ALL BARS SHALL BE FREE OF LOOSE FLAKY RUST AND SCALE, GREASE, OR OTHER MATERIAL MIGHT AFFECT OR IMPAIR BOND.
 - d. ALL BENDS TO BE MADE COLD.
 - e. DO NOT WELD GRADE 60 REINFORCING UNLESS SPECIAL APPROVAL IS OBTAINED FROM STRUCTURAL ENGINEER.
 - f. REINFORCING SHALL HAVE A MINIMUM LAP OF 40 BARS DIAMETERS OR 2'- 0" WHICHEVER IS LARGER.



NOTE: FOR TYPICAL SLAB DETAILS SEE 1 & 2 THIS PAGE



NOTE: SOILS REPORT SUPERSEDES WHERE IN CONFLICT

REDUCE TIE BAR/DOWEL LENGTH TO 13" TO AVOID INTERFERENCE

ENTRY STEP

NO SCALE

NOTE: SEE TYPICAL SLAB NOTES THIS PAGE

DRIVEWAY

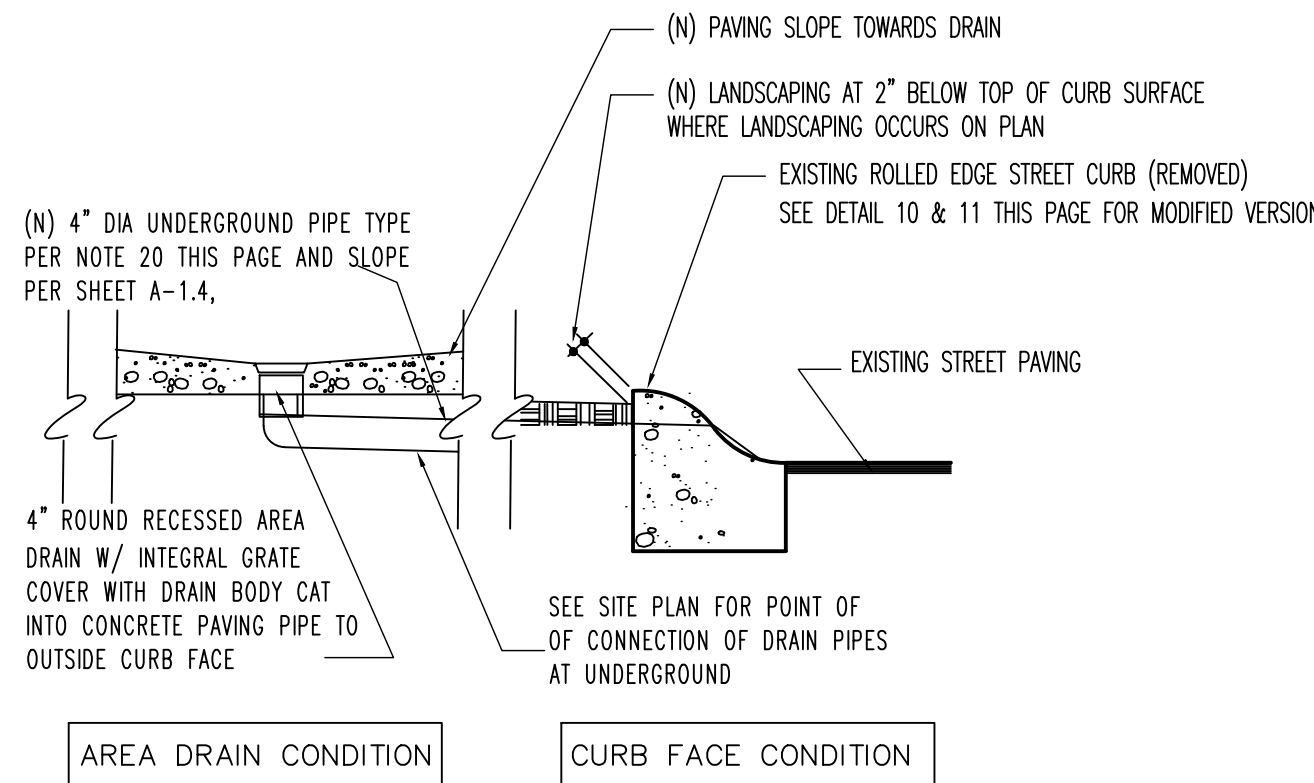
NO SCALE

NOTE: SEE TYPICAL SLAB NOTES THIS PAGE

SLAB PLAN

NO SCALE

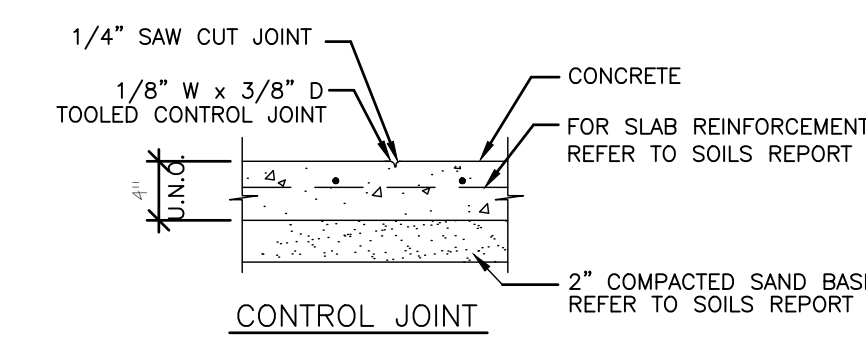
NOTE: SEE TYPICAL SLAB NOTES THIS PAGE



STORM DRAIN PIPE

NO SCALE

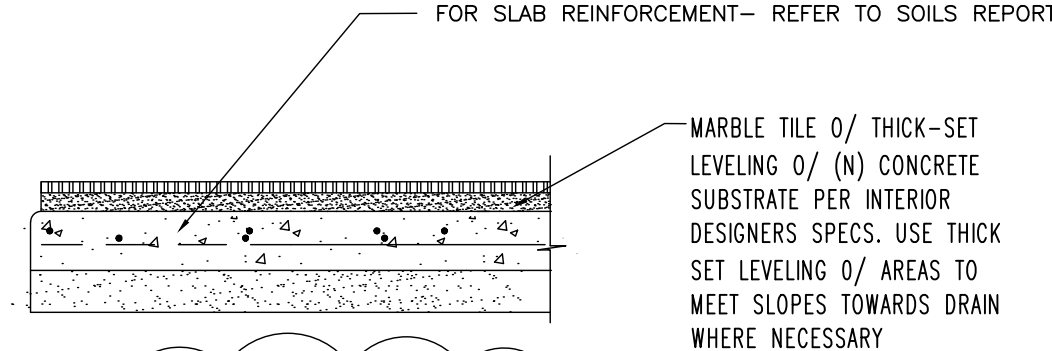
NOTE: PIPES ON SITE PLAN ARE DIAGRAMMATIC AND SHALL MEET TABLE SECTION CBC 1101.8 AND PER-LD-1



SLAB JOINTS (WALKWAYS/DRIVEWAYS)

NO SCALE

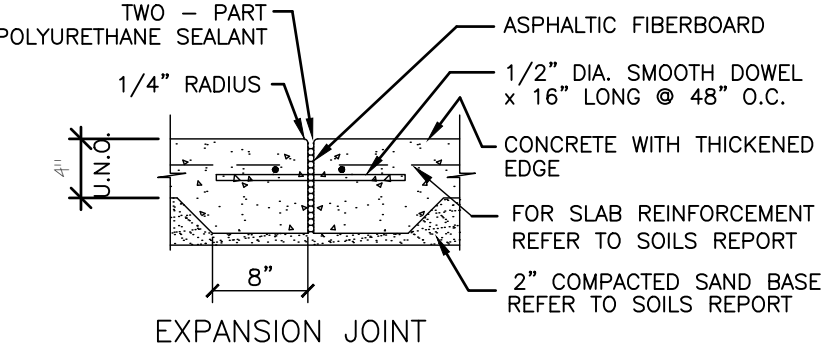
NOTE: FOR TYPICAL SLAB DETAILS SEE 1 & 2 THIS PAGE



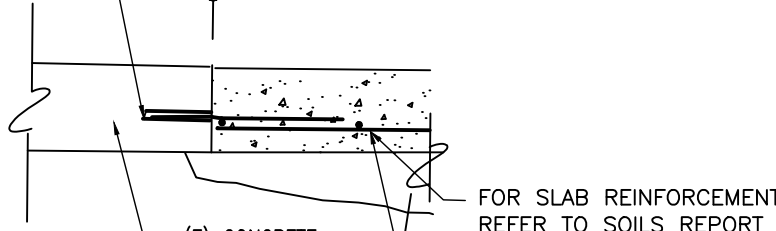
DECK COND.

NO SCALE

NOTE: SEE TYPICAL SLAB NOTES THIS PAGE



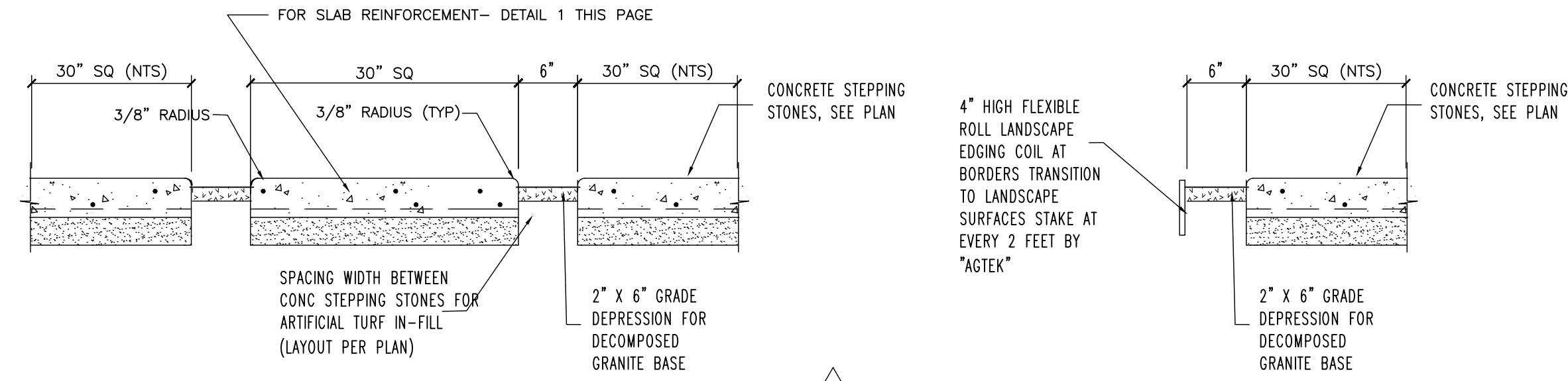
PRE-DRILL HOLES 4" DEEP-SOLID GROUT FOR #3 BARS WHERE EXISTING AND NEW SLAB MEET AT 30° OC



SLAB TRANSITION

NO SCALE

NOTE: SEE TYPICAL SLAB NOTES THIS PAGE



WALKWAY PATH (STEPPING STONES)

NO SCALE

NOTE: SEE TYPICAL SLAB NOTES THIS PAGE

EDGING AT WALKWAY

NO SCALE

NOTE: SEE TYPICAL SLAB NOTES THIS PAGE

SURFACE TRANSITION AT DECK BOARDS TO MARBLE SLAB

NO SCALE

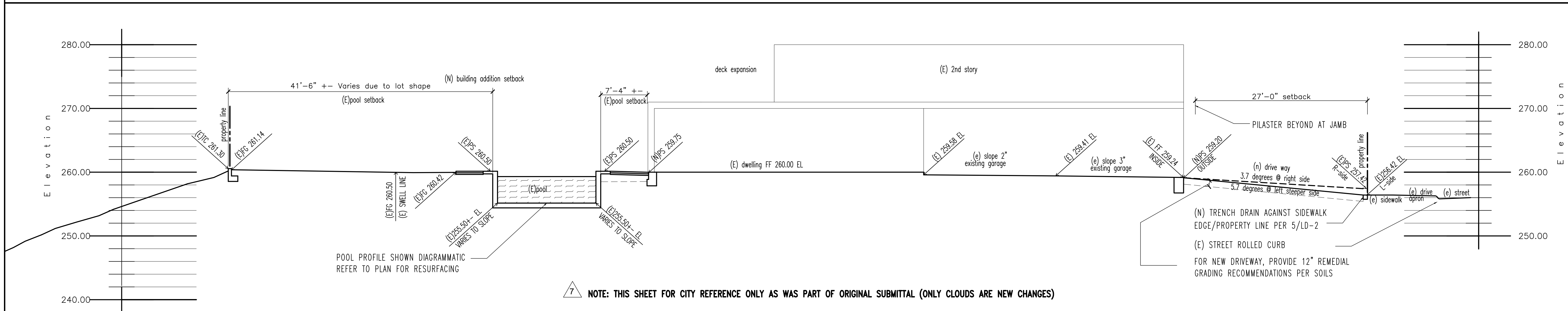
NOTE: SEE TYPICAL SLAB NOTES THIS PAGE FRO PORTIONS OUTSIDE OF POOL COPING

OMIT

NO SCALE

TYPICAL SITE DETAILS

SCALE AS NOTED



NOTE: THIS SHEET FOR CITY REFERENCE ONLY AS WAS PART OF ORIGINAL SUBMITTAL (ONLY CLOUDS ARE NEW CHANGES)

SITE SECTION "A"

Scale: 1/8" = 1'-0"

Contractor shall exercise the responsibility with architect in securing latest approved drawings, prior to actually executing work

REVISIONS NO.

8 city submittal 11-10-23 pool improvements

Brite Pool Plastering
13301 Hubbard Street
Sylmar, CA 91342
(818) 974-2498
email: britepoolcon@gmail.com
License # 976733 c53

CONTRACTOR

JOHN A. SALAT ARCHITECTS
22366 Woodgrove Road, Lake Forest, CA 92630
PH 949-235-4847 email: freemings@earthlink.net
zenarchitect.com

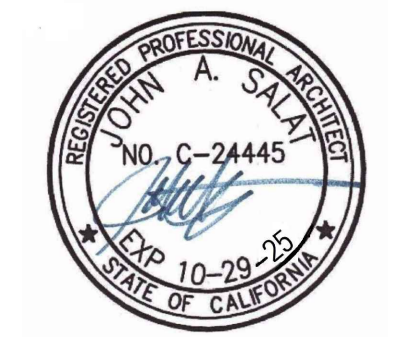
architect

LANDSCAPE IMPROVEMENTS

Ke Wang Residence

OWNER REP/SITE ADDRESS:

Henry Miao
18 Archipelago Drive
Newport Coast, CA 92657
ph 714-353-3469 Email: henrymiao77@yahoo.com



DRAWN
5
CHECKED
10
DATE
SEE REVISION BOX ABOVE FOR DATE
SCALE
AS NOTED ON PLANS
JOB NO.
SHEET

LD-2

1 OF SHEETS

LIMITS OF APPLICABILITY

— USE OF THIS DOCUMENT SHALL NOT PERMIT THE APPLICANT
TO MODIFY ANY PORTION(S) OF THIS PLAN OR THESE DETAILS.

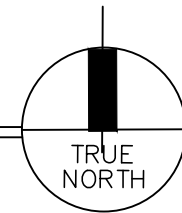
BUILDING DIVISION

STANDARD PRIVATE POOL/SPA DEMOLITION PLAN

DEMO SITE PLAN

(NOTE: Demo scope limited to replastering existing pool, replace coping and replacing one gate)

SCALE: 3/32" = 1'-0"



SCOPE OF WORK: REPLASTER EXISTING POOL AND SPA LINING AND REPLACE POOL COPING	
PROJECT ADDRESS: 18 Archipelago Dr Newport Coast, CA 92657	
OWNER'S NAME: Ke Wang	PLAN PREPARER: John A. Salat
TEL. NO.: 714-353-3469	CONTACT INFO: 949.235.4847
SIGNATURE: <i>John A. Salat</i>	LICENSE NO.: C-24445
FILENAME: 2022 POOL SPA DEMO AND DROWN PREV VLDWG	

PROPERTY ADDRESS
18 Archipelago Dr
Newport Coast, CA 92657

LEGAL DESCRIPTION
Parcel #: 47719102 N TR 15817 BLK LOT 4
and inclusive maps of County of Orange

SITE/BUILDING DATA:
LOT SIZE: 0.334 ACRE

PROPERTY ZONE: Single Family Residential Planned community (PCS2) R1
Zoning District: Newport Coast Planned Community Area 38 - Residential Medium Density.

GENERAL SITE PLAN NOTES

FOR SWIMMING POOL SAFETY ACT: HEALTH AND SAFETY CODE, REFER TO SHEET PS-2
"DROWNING PREVENTION PLAN"

In order to obtain a Pool Demolition Permit:

- Provide two sets of plans.
- Draw a site plan (aerial view) of your property in the space provided at the right—side of this sheet. See the "Example Site Plan" for the required information.
- Choose one of the following two methods that you will utilize to demolish the pool.

Method A— The "No Soils Engineer" Approach

- Leave shell in place.
- Remove the top 24" of the pool walls.
- Punch (2) — 3'x3' holes in bottom of pool shell at lowest locations.
- Fill pool shell with crushed rock to within 18" of surface.
- Use geotechnical filter cloth over rock.
- Cover with top soil and compact as needed to prevent future consolidation.

Method B— Use a Soil Engineer

- Remove shell completely.
- Fill hole per a soil engineer's recommendation and site observation of compaction, along with testing.
- Submit a copy of compaction report to the building inspector.

For Both Methods

- Verify Site Drainage.
- Inspector will verify the plumbing and electrical are properly abandoned.
- Obtain drainage permit (if drainage is altered or plumbing permit is adding or relocating area drains.

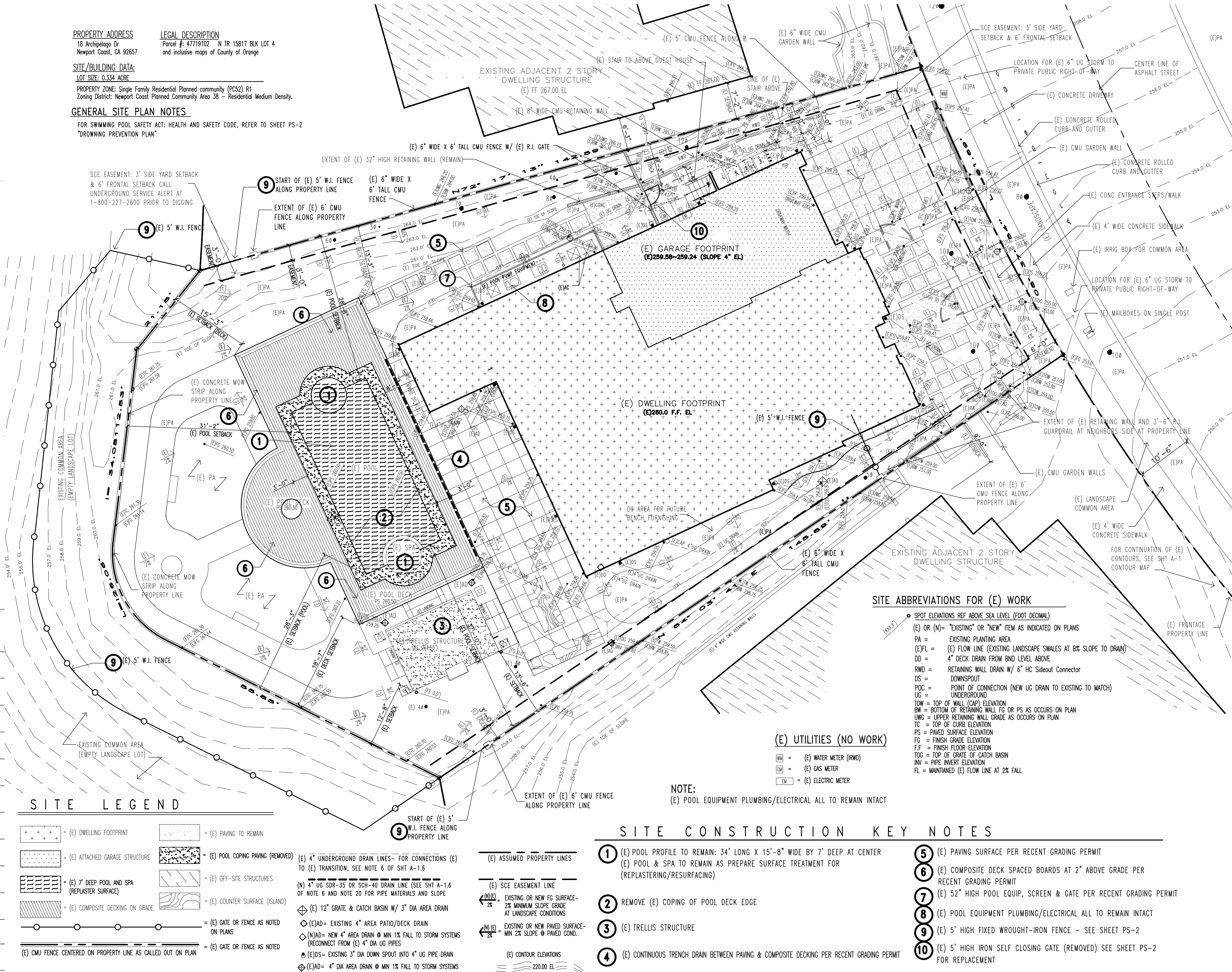
Alternate Method

- If an alternate demolition procedure is preferred, list the steps below. A plan check engineer will review it.

Alternate Method

No alternate method: Only altering finish by resurfacing existing

plaster surface to recondition pool as superficial treatments



sheet index
PS-1 DEMO
PS-2 PROPOSED



REVISIONS NO.
8 city submittal 11-10-23 pool improvements

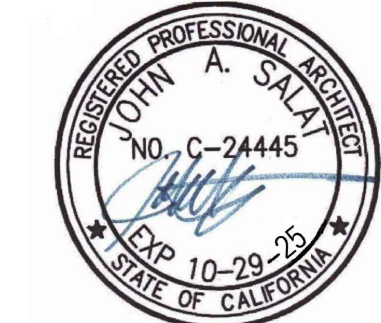
Brite Pool Plastering
13301 Hubbard Street
Symar, CA 91342
(818) 974-2498
email: britepoolcon@gmail.com
License # 976733 c53

JOHN A. SALAT ARCHITECTS
22386 Woodgrove Road, Lake Forest, CA 92650
PH 949-235-4847 email: freeingrains@earthlink.net
zenarchitect.com

architect

LANDSCAPE IMPROVEMENTS
Ke Wang Residence
pool & spa
site demo

OWNER REP/SITE ADDRESS:
Henry Miao
18 Archipelago Drive
Newport Coast, CA 92657
ph 714-353-3469 Email: henrymiao777@yahoo.com



DRAWN
J5
CHECKED
J5
DATE
SEE REVISION BOX ABOVE FOR DATE
SCALE
AS NOTED ON PLANS
JOB NO.
SHEET

PS-1

BUILDING DIVISION

STANDARD PRIVATE POOL/SPA DROWNING PREVENTION PLAN



Contractor shall exercise the responsibility with architect in securing latest approved drawings prior to executing any work

REVISIONS NO.

8 city submittal 11-10-23 pool improvements

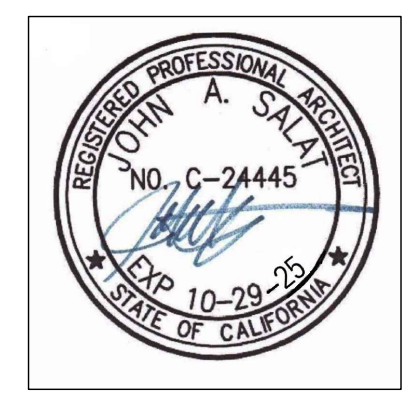
Brite Pool Plastering
13301 Hubbard Street
Symmar, CA 91342
(818) 974-2498
email: britepoolca@gmail.com
License # 976733 c53

JOHN A. SALAT ARCHITECTS
22386 Woodgrove Road, Lake Forest, CA 92650
PH 949-235-4847 email: freeingminds@earthlink.net
zenarchitect.com

architect

LANDSCAPE IMPROVEMENTS
Ke Wang Residence
pool & spa
drown prevention

OWNER REP/SITE ADDRESS:
Henry Miao
18 Archipelago Drive
Newport Coast, CA 92657
ph 714-353-3469 Email: henrymiao777@yahoo.com



DRAWN
15
CHECKED
15
DATE
SEE REVISION 20X ABOVE FOR DATE
SCALE
AS NOTED ON PLANS
JOB NO.
SHEET

PS-2

A OF (REF TO INDEX) SHEETS

DROWN PREVENTION OUTLINE

Note: Drowning Prevention Measure = DPM
Identify 2 Drowning Prevention Methods in addition to the Pool/Spa Enclosure:
1. Where a wall of a dwelling or structure serves as part of the barrier and where doors, gates or windows provide direct access to the pool or spa self-closing with a self-latching device (alarmed) placed at 60 inches min. above the ground.
2. Provide Pool Guard model number PGRM-2 at 3 locations as shown on plan

SCOPE OF WORK: REPLASTER EXISTING POOL AND SPA LINING AND REPLACE POOL COPING
PROJECT ADDRESS: 18 Archipelago Dr Newport Coast, CA 92657
OWNER'S NAME: Ke Wang
PLAN PREPARER: John A. Salat
TEL. NO.: 714-353-3469
CONTACT INFO: 949-235-4847
SIGNATURE: [Signature]
LICENSE NO.: C-24445

FILENAME: 2022 POOL SPA DROWN PREV V1.DWG

SCOPE

This standard plan is only intended to show the location of pool enclosures and drowning prevention safety measures required by the 2022 California Building Code, section 3109.115923 & ISPCS 305.2 for the remodeling or alteration of an existing swimming pool or spa at a private single family home.

Construction of the swimming pool or spa, fence or walls, or site drainage shall be under separate review and permit.

APPLICABLE STANDARDS

2022 California Residential Code (CRC); 2022 California Building Code (CBC); 2022 California Plumbing Code (CPC); 2022 California Electrical Code (CEC); 2022 California Mechanical Code (CMC); 2022 Building Energy Efficiency Standards (BEES); 2022 California Green Building Standards Code (CBGC); The Newport Beach Municipal Code (NBMC); 2021 International Pool and Spa Code (ISPCS) as amended by NBMC 15.09.

INSTRUCTIONS

- Draw a site plan (aerial view) of your property in the space provided at the right side of this sheet. Refer to the example site plan and sketch a similar plan for your property including the information required in items 2 and 3, below.
- Identify the swimming pool/spa barrier per CBC section 3109.115923 & ISPCS 305.2 on the site plan. Swimming pool enclosure shall have all of the following characteristics:
 - Any access gates through the barrier shall open away from the swimming pool and are self-closing with a self-latching device placed no lower than 60 inches above the ground.
 - A minimum height of 60 inches above outside grade.
 - A maximum vertical clearance from the ground to the bottom of the enclosure of 2 inches.
 - Gaps or voids, if any, do not allow passage of a sphere equal to or greater than 4 inches in diameter.
 - An outside surface free of protrusions, cavities or other physical characteristics that would serve as handholds or footholds that could enable a child below the age of five years to climb over.
 - Where a wall of a dwelling serves as part of the barrier, one of the following shall apply. CBC 3109.115922 & NBMC 15.09.200:
 - Doors and operable windows having a sill height of less than 48 inches (1219 mm) above the indoor finished floor with direct access to the swimming pool shall be equipped with an alarm that meets the requirements of section 3b, below.
 - Doors with direct access to the swimming pool shall be equipped with self-closing and self-latching devices compliant with section 3c, below.
 - Swimming pool shall be equipped with a safety cover that complies with section 3e, below.
- Identify at least two (2) of the following drowning prevention safety features per CBC section 3109.115922 and NBMC 15.09 on the site plan.
 - An enclosure that meets the requirements of item 2, above, and isolates the swimming pool from the home.
 - Exit alarms on doors with direct access to the pool that meet the following requirements. ISPCS 305.4:
 - Door alarms shall be listed and labeled in accordance with UL 2017.
 - Alarm shall produce an audible warning when the door and/or its screen, are opened.
 - The alarm shall sound continuously for a minimum of 30 seconds within 7 seconds after the door is opened, at a sound pressure level of not less than 85 dBA when measured inside the dwelling at 10 ft from the alarm.
 - The alarm shall automatically reset under all conditions.
 - The alarm shall be equipped with a manual means to temporarily deactivate the alarm for a single opening. The deactivation shall last not more than 15 seconds. The deactivation switch shall be located at least 54 inches above the threshold of the door.
 - Alarms shall be permanently secured by screws or epoxy.
 - A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the finished floor on doors with direct access to the swimming pool. CBC 3109.115922(5)
 - Permanently installed water entry detection device, when placed in a swimming pool or spa, will sound upon detection of accidental or unauthorized entrance into the water and comply with ASTM Standard F2208. A swimming protection alarm feature designed for individual use, including an alarm attached to a child that sounds when the child exceeds a certain distance or becomes submerged in water, is not a qualifying drowning prevention safety feature.
 - An approved safety pool cover that is tested and listed to meet all of the performance standards of the American Society of Testing and Materials (ASTM), in compliance with standards F1346-91.
 - Permanently installed removable mesh fencing that meets American Society for Testing and Materials (ASTM) Specifications F2286 standards in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device.
 - Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the devices set forth above, and have been independently verified by an approved testing laboratory as meeting standards for those devices established by the ASTM or the American Society of Testing Mechanical Engineers (ASME), inclusive, as determined by the Chief Building Official.
- Must provide following information for 3d, 3e, and 3f above.
 - Product Manufacturer: TBD
 - Product Name: TBD
 - ASTM Testing Agency ALL PRODUCTS SHALL COMPLY FULLY AS CONTRACTOR SHALL HAVE BACK-UP FOR FIELD INSPECTORS REVIEW OF COMPLIANCE

SITE LEGEND

(+) = (E) DWELLING FOOTPRINT
(-) = (E) ATTACHED GARAGE STRUCTURE
(-) = (E) 7" DEEP POOL AND SPA (REPLASTER SURFACE)
(-) = (E) COMPOSITE DECKING ON GRADE
(-) = (E) PAING TO REMAIN
(-) = (N) POOL COPING PAING (REPLACED)
(-) = (E) OFF-SITE STRUCTURES
(-) = (E) COUNTER SURFACE (ISLAND)
(-) = (E) OR (N) GATE OR FENCE AS NOTED ON PLANS
(-) = (E) GATE OR FENCE AS NOTED
(-) CMU FENCE CENTERED ON PROPERTY LINE AS CALLED OUT ON PLAN

(E) 4" UNDERGROUND DRAIN LINES- FOR CONNECTIONS (E) TO (E) TRANSITION, SEE NOTE 6 OF SHT A-A-6
(N) 4" UG SDR-35 OR SCH-40 DRAIN LINE (SEE SHT A-A-6 OF NOTE 6 AND NOTE 20 FOR PIPE MATERIALS AND SLOPE)
(E) 42" GRATE & CATCH 24SIN W/ 3" DIA AREA DRAIN
(E)AD= EXISTING 4" AREA PATIO/DECK DRAIN
(N)AD= NEW 4" AREA DRAIN @ MIN ASX FALL TO STORM SYSTEMS RECONNECT FROM (E) 4" DIA UG PIPES
(E)DS= EXISTING 3" DIA DOWN SPOUT INTO 4" UG PIPE DRAIN
(E)AD= 4" DIA AREA DRAIN @ MIN 1% FALL TO STORM SYSTEMS

(E) ASSUMED PROPERTY LINES

(E) SEE EASEMENT LINE
(N)DS= EXISTING OR NEW FG SURFACE- 2% MINIMUM SLOPE GRADE AT LANDSCAPE CONDITIONS
(N)DS= EXISTING OR NEW PAVED SURFACE- MIN 2% SLOPE @ PAVED COND.

(E) CONTOUR ELEVATIONS
220.0 EL

NOTE:
(E) POOL EQUIPMENT PLUMBING/ELECTRICAL ALL TO REMAIN INTACT

(E) UTILITIES (NO WORK)

(W) = (E) WATER METER (RWD)
(G) = (E) GAS METER
(E) = (E) ELECTRIC METER

SITE A22REVISIONS FOR (E) WORK

SPOT ELEVATIONS REF ABOVE SEA LEVEL (FOOT DECIMAL)
(E) OR (N)= "EXISTING" OR "NEW" ITEM AS INDICATED ON PLANS
PA = EXISTING PLANTING AREA
(E)FL = (E) FLOW LINE (EXISTING LANDSCAPE SWALES AT BK SLOPE TO DRAIN)
DD = 4" DECK DRAIN FROM BND LEVEL ABOVE
RWD = RETAINING WALL DRAIN W/ 6" HC Sideout Connector
DS = DOWNSPOUT
POC = POINT OF CONNECTION (NEW UG DRAIN TO EXISTING TO MATCH)
UG = UNDERGROUND
TOW = TOP OF WALL (CAP) ELEVATION
BW = BOTTOM OF RETAINING WALL FG OR PS AS OCCURS ON PLAN
UNG = UPPER RETAINING WALL GRADE AS OCCURS ON PLAN
TC = TOP OF CURB ELEVATION
PS = PAVED SURFACE ELEVATION
FG = FINISH GRADE ELEVATION
FF = FINISH FLOOR ELEVATION
TOS = TOP OF GRADE OF CATCH BASIN
INV = PIPE INVERT ELEVATION
FL = MAINTAINED (E) FLOW LINE AT 2% FALL

- (E) COMPOSITE DECK SPACED BOARDS AT 2" ABOVE GRADE PER RECENT CITY GRADING PERMIT
- (E) 42" HIGH POOL EQUIP. SCREEN & GATE PER RECENT GRADING PERMIT
- (E) POOL EQUIPMENT PLUMBING/ELECTRICAL ALL TO REMAIN INTACT
- (E) 5' HIGH FIXED WROUGHT-IRON FENCE PER NOTE
- (N) 5' HIGH ROD IRON SELF CLOSING GATE (SEE NOTE SERIES 2 & 3 THIS PAGE)
- (E) WINDOW SILL IS LESS THAN 48" (SEE NOTE 21A THIS PAGE)
- (E) DOOR (SEE NOTE 21.2 THIS PAGE AND OTHER PERTINENT SECTIONS)
- INSTALL 3 WATER DETECTION DEVICES: POOL GUARD MODEL #PGRM-2



KE WANG RESIDENCE

18 ARCHIPELAGO WAY

PARCEL NO. 47719102

SHEET LEGEND

0.10	LANDSCAPE TITLE SHEET
0.20	GENERAL NOTES
1.00	CONSTRUCTION PLAN
1.01	STAKING PLAN
1.02	CONSTRUCTION DETAILS
2.00	IRRIGATION PLAN
2.01	IRRIGATION DETAILS
2.02	IRRIGATION DETAILS
3.00	PLANTING PLAN & NOTES
3.01	PLANTING DETAILS
4.00	WATER USE INFORMATION
5.00	LIGHTING PLAN

REFERENCE:
R.01 CONCEPT PLAN
R.02 MATERIAL IMAGES

REVISIONS

No.	Description	Date
1	CONCEPT PLANS	10.10.2023
2	CONSTRUCTION DRAWINGS	10.18.2023

THIS DRAWING AND THE DESIGNS, ARRANGEMENTS, SPECIFICATIONS, IDEAS AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE UNPUBLISHED WORK OF CODDER STUDIO AND SHALL REMAIN PROPERTY OF CODDER STUDIO IN PERPETUITY. THIS DRAWING IS PART OF A DESIGN CONTRACT FOR A PROJECT AND THE PROJECT AND SHALL BE USED ONLY AS SUCH. NO PART OF THE DRAWING SHALL BE REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED OR OTHERWISE USED IN ANYWAY FOR ANY PURPOSE WITHOUT THE WRITTEN EXPRESS VERBEN CONSENT OF CODDER STUDIO. ANY VIOLATION OF THESE TERMS OR VIOLATIONS THEREOF SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET TITLE

CONSTRUCTION PLAN

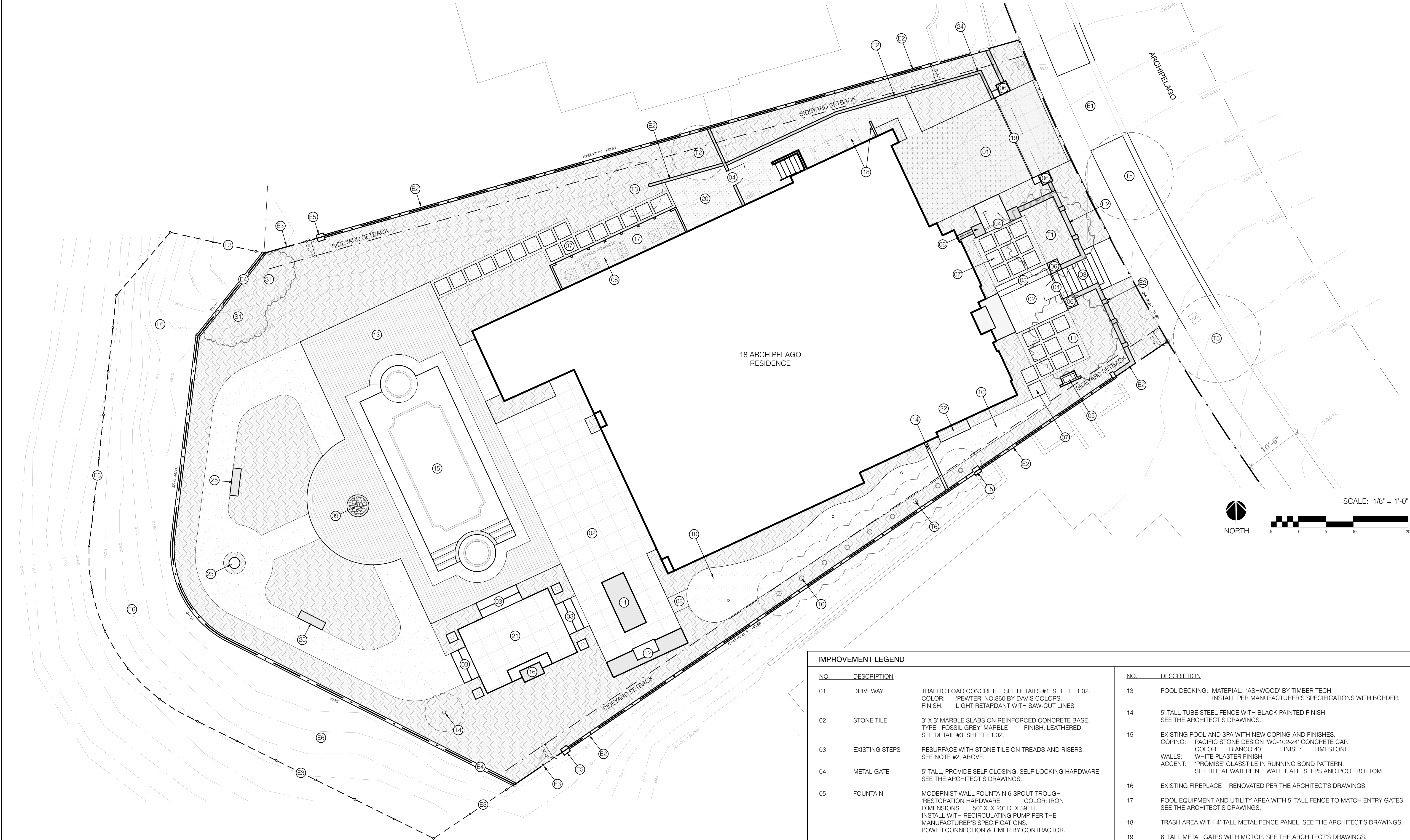
SHEET NO.




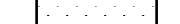

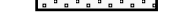


L1.00

DATE 10.18.2023

DRAWN BY _____ BC _____

03 OF 14



EXISTING FEATURES LEGEND		EXISTING TREES & SHRUBS			SYMBOL LEGEND	
NO.	DESCRIPTION	NO.	NAME	STATUS	SYMBOL	DESCRIPTION
E1	CONCRETE DRIVEWAY APRON. PROTECT-IN-PLACE	T1	OLIVE TREE	PROTECT-IN-PLACE		PLANTING AREA WITH 3" LAYER OF MULCH. SEE SHEET L3.00
E2	CMU WALL. PROVIDE NEW STUCCO FINISH. COLOR AND FINISH TO MATCH RESIDENCE.	T2	METROSIDEROS	PROTECT-IN-PLACE		GRASS LAWN, SEE THE PLANTING PLAN, SHEET L3.00
E3	FENCE. 5'-0" TALL TUBE STEEL IN COMMUNITY COMMON SPACE. PROTECT-IN-PLACE.	T3	MAGNOLIA	PROTECT-IN-PLACE		ARTIFICIAL TURF, SEE NOTE #10, THIS SHEET.
E4	CONCRETE CURB AT PROPERTY LINE/ TOP OF SLOPE. PROTECT-IN-PLACE.	T4	CITRUS TREE	PROTECT-IN-PLACE		GRAVEL, SEE NOTE #08, THIS SHEET.
E5	CMU COLUMN WITH NEW PAINTED STUCCO. COLOR TO MATCH THE RESIDENCE.	T5	PARKWAY TREE	PROTECT-IN-PLACE		TRAFFIC LOAD CONCRETE. SEE NOTE #01, THIS SHEET.
E6	COMMUNITY LANDSCAPE AREA. PROTECT-IN-PLACE	T6	FICUS	PROTECT-IN-PLACE		CONCRETE PAVING. SEE NOTE #07, THIS SHEET.
E7	CURB AND GUTTER. PROTECT-IN-PLACE. NOT-IN-SCOPE.	S1	ALOE ARBORESCENS	PROTECT-IN-PLACE		STONE TILE. SEE NOTE #02, THIS SHEET.
						DECKING, SEE NOTE #13, THIS SHEET.

IMPROVEMENT LEGEND					
NO.	DESCRIPTION		NO.	DESCRIPTION	
01	DRIVEWAY	TRAFFIC LOAD CONCRETE. SEE DETAILS #1, SHEET L1.02. COLOR: 'PEWTER' NO.860 BY DAVIS COLORS. FINISH: LIGHT RETARDANT WITH SAW-CUT LINES	13	POOL DECKING:	'ASHWOOD' BY TIMBER TECH INSTALL PER MANUFACTURER'S SPECIFICATIONS WITH BORDER.
02	STONE TILE	3" X 3" MARBLE SLABS ON REINFORCED CONCRETE BASE. TYPE: 'FOSSIL GREY' MARBLE FINISH: LEATHERED SEE DETAIL #3, SHEET L1.02.	14	5' TALL TUBE STEEL FENCE WITH BLACK PAINTED FINISH. SEE THE ARCHITECT'S DRAWINGS.	
03	EXISTING STEPS	RESURFACE WITH STONE TILE ON TREADS AND RISERS. SEE NOTE #2, ABOVE.	15	EXISTING POOL AND SPA WITH NEW COPING AND FINISHES. COPING: 'PACIFIC STONE DESIGN' WC-102-24" CONCRETE CAP. COLOR: 'BIANCO 40' FINISH: LIMESTONE WALLS: WHITE PLASTER FINISH ACCENT: 'PROMISE' GLASSTILE IN RUNNING BOND PATTERN. SET TILE AT WATERLINE, WATERFALL, STEPS AND POOL BOTTOM.	
04	METAL GATE	5' TALL, PROVIDE SELF-CLOSING, SELF-LOCKING HARDWARE. SEE THE ARCHITECT'S DRAWINGS.	16	EXISTING FIREPLACE	RENOVATED PER THE ARCHITECT'S DRAWINGS.
05	FOUNTAIN	MODERNIST WALL FOUNTAIN 6-SPOUT TROUGH 'RESTORATION HARDWARE' COLOR: IRON DIMENSIONS: 50" X 20" D. X 39" H. INSTALL WITH RECIRCULATING PUMP PER THE MANUFACTURER'S SPECIFICATIONS. POWER CONNECTION & TIMER BY CONTRACTOR.	17	POOL EQUIPMENT AND UTILITY AREA WITH 5' TALL FENCE TO MATCH ENTRY GATES. SEE THE ARCHITECT'S DRAWINGS.	
06	GATE COLUMN	CMU WITH STUCCO FINISH AND LIGHT FIXTURE. COLOR AND FINISH TO MATCH THE RESIDENCE. SEE THE ARCHITECT'S DRAWINGS.	18	TRASH AREA WITH 4' TALL METAL FENCE PANEL.	SEE THE ARCHITECT'S DRAWINGS.
07	CONCRETE PAD	COLOR: 'PEWTER' NO.860 BY DAVIS COLORS SEE DETAIL #2, SHEET L1.02.	19	6' TALL METAL GATES WITH MOTOR.	SEE THE ARCHITECT'S DRAWINGS.
08	GRAVEL PAVING	4" LAYER OF 3/8" 'SALT & PEPPER' GRAVEL. SEE DETAIL #5, SHEET L1.02.	20	CONCRETE PAVING	COLOR: 'PEWTER' NO.860 BY DAVIS COLORS SEE DETAIL #2, SHEET L1.02.
09	FIRE BOWL	'LAKEVIEW VALLEY BAY 4' 48 INCH ROUND FIRE BOWL. SOURCE: NATURAL GAS, AUTO-IGNITION, LAVA ROCK. COLOR: COASTAL FINISH INSTALL PER MANUFACTURER SPECS, FIRE & BUILDING CODES.	21	EXISTING ARBOR.	RENOVATE WITH NEW WOOD POSTS AND TRELLIS TO MATCH EXISTING COLOR: MAHOGANY, FLAT FINISH: WEATHERPROOF STAIN & SEALER
10	PUTTING GREEN	TIGER TURF 'TRUE PITT' ARTIFICIAL GRASS ON GRAVEL BASE. SEE DETAIL #6, SHEET L1.02.	22	BENCH WITH SOLID WOOD TOP AND SIDES. PROVIDE HIGDED SEAT FOR ACCESS TO IRRIGATION VALVES INSIDE. FINISH: WEATHERPROOF STAIN & SEALER COLOR: MAHOGANY, FLAT	
11	STONE TABLE	MARBLE TABLE. SEE THE ARCHITECT'S DRAWINGS.	23	GARDEN ART TO BE SELECTED BY THE OWNER.	
12	STONE COUNTER	MARBLE COUNTER PER THE ARCHITECT'S DRAWINGS. GRILL: 'LYNX' 54" PRO-BUILT IN STAINLESS STEEL FINISH	24	RETAINING WALL TO MATCH EXISTING/ ADJACENT WALLS. CMU WITH STUCCO FINISH TO MATCH THE RESIDENCE. SEE THE ARCHITECT'S DRAWINGS.	
			25	GARDEN BENCH	'PERPETUAL THE MONOLITH' BY BURKE DECOR 5' L. X 18" COLOR: IVORY SET ON 3" DEEP COMPACTED GRAVEL BASE.



PROJECT INFORMATION

KE WANG RESIDENCE

18 ARCHIPELAGO WAY
NEWPORT BEACH, CA 92657

PARCEL NO. 47719102

SHEET LEGEND

L0.10	LANDSCAPE TITLE SHEET
L0.20	GENERAL NOTES
L1.00	CONSTRUCTION PLAN
L1.01	STAKING PLAN
L1.02	CONSTRUCTION DETAILS
L2.00	IRRIGATION PLAN
L2.01	IRRIGATION DETAILS
L2.02	IRRIGATION DETAILS
L3.00	PLANTING PLAN & NOTES
L3.01	PLANTING DETAILS
L4.00	WATER USE INFORMATION
L5.00	LIGHTING PLAN

REFERENCE:
LR.01 CONCEPT PLAN
LR.02 MATERIAL IMAGES

REVISIONS

[illegible]

THIS DRAWING AND THE DESIGNS, ARRANGEMENTS, DEPICTIONS, IDEAS AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE UNPUBLISHED WORK OF SODDER STUDIO AND SHALL REMAIN PROPERTY OF SODDER STUDIO IN PERPETUITY. THIS DRAWING IS PART OF THE CONTRACT DOCUMENTS FOR THE STATED PROJECT AND SHALL REMAIN THE PROPERTY OF SODDER STUDIO. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED OR OTHERWISE USED IN ADVANCE FOR ANY OTHER PURPOSE WITHOUT THE ADVANCED EXPRESS WRITTEN CONSENT OF SODDER STUDIO. VISUALS AND CONCEPTS, DRAWINGS OR ANY PART THEREOF, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET TITLE

STAKING PLAN

SHEET NO.

L1.01

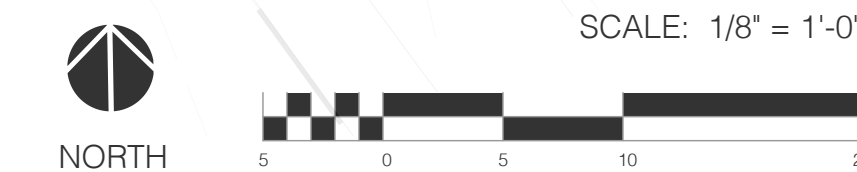
DATE	10/18/2023
------	------------

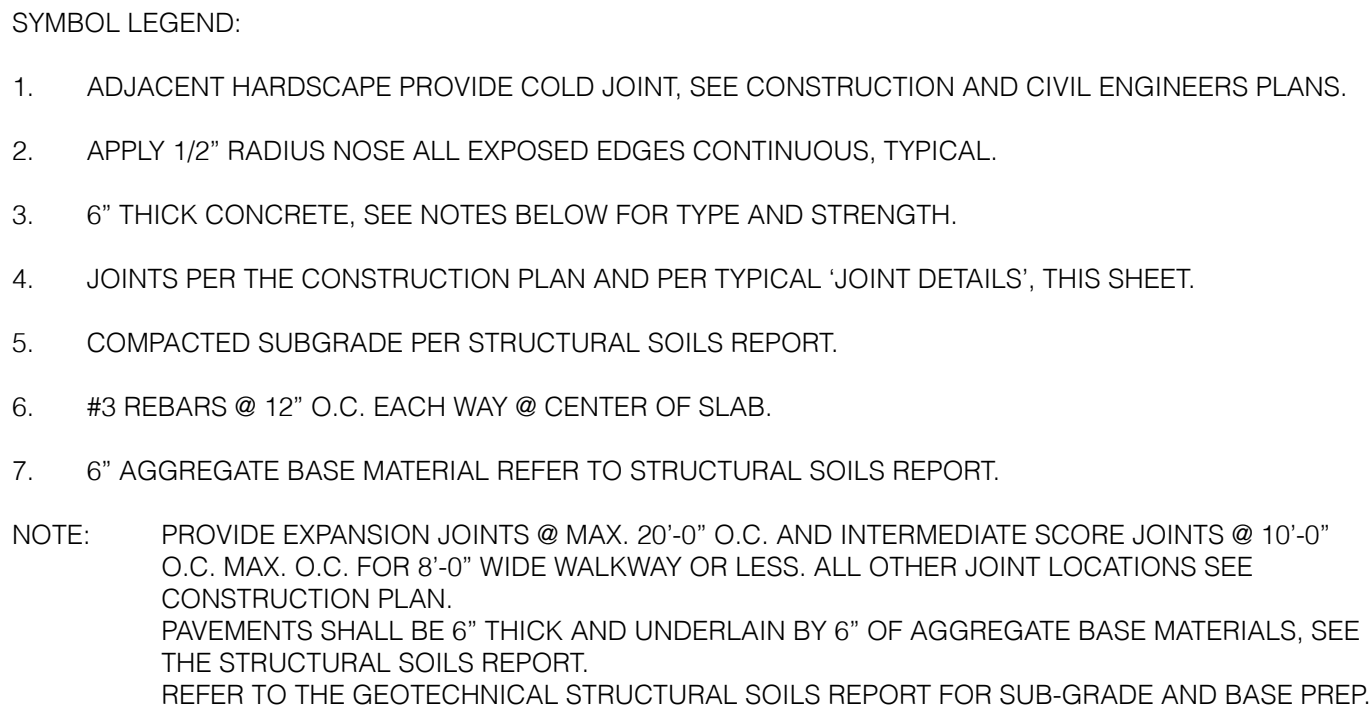
DRAWN BY RD

SHEET 04 OF 14

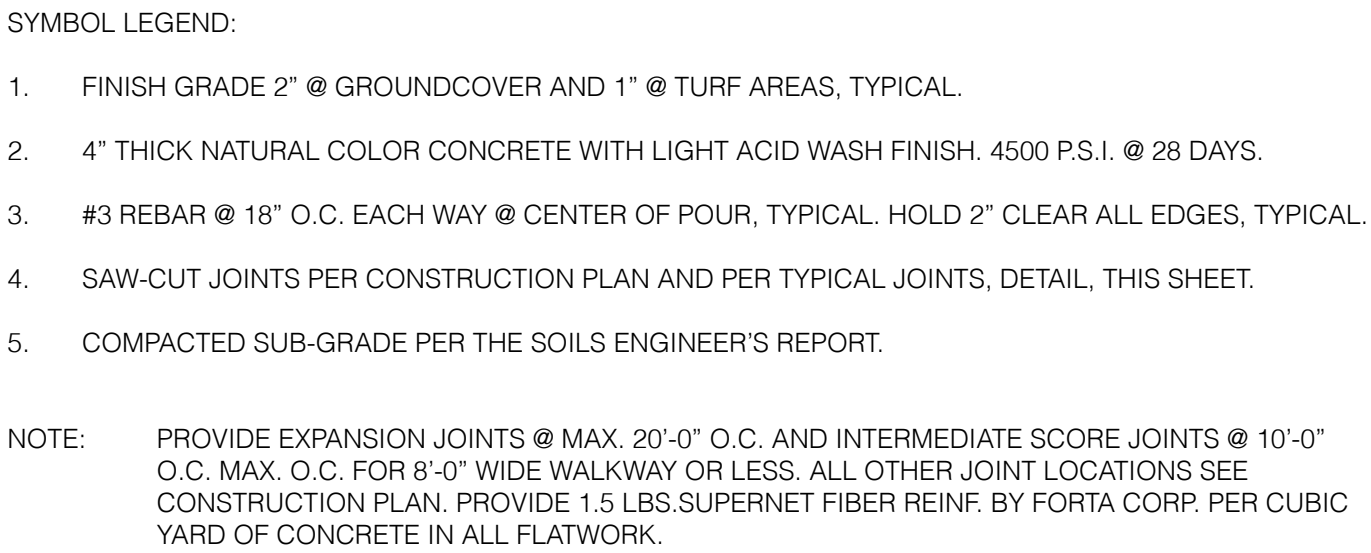
NOTES:

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.

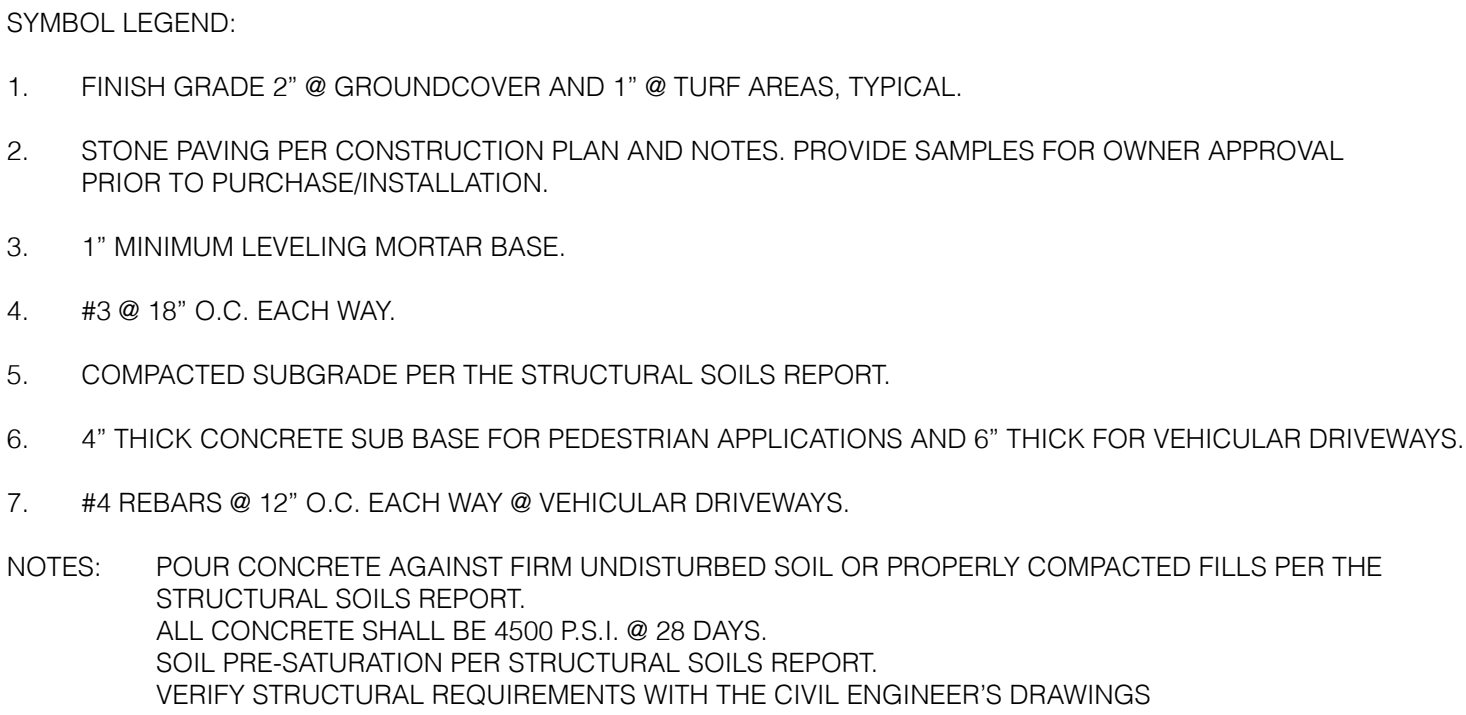




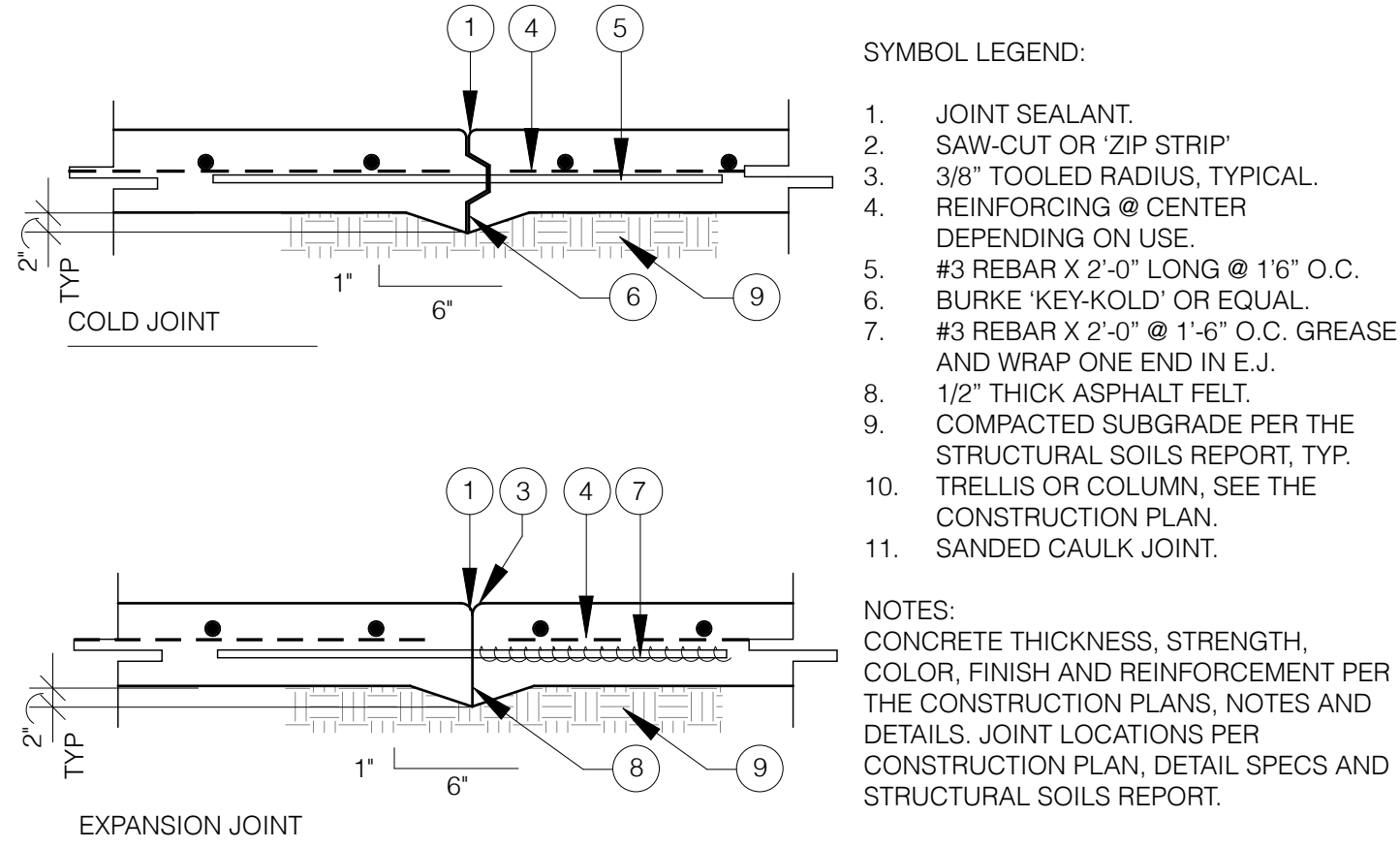
1. VEHICULAR CONCRETE PAVING



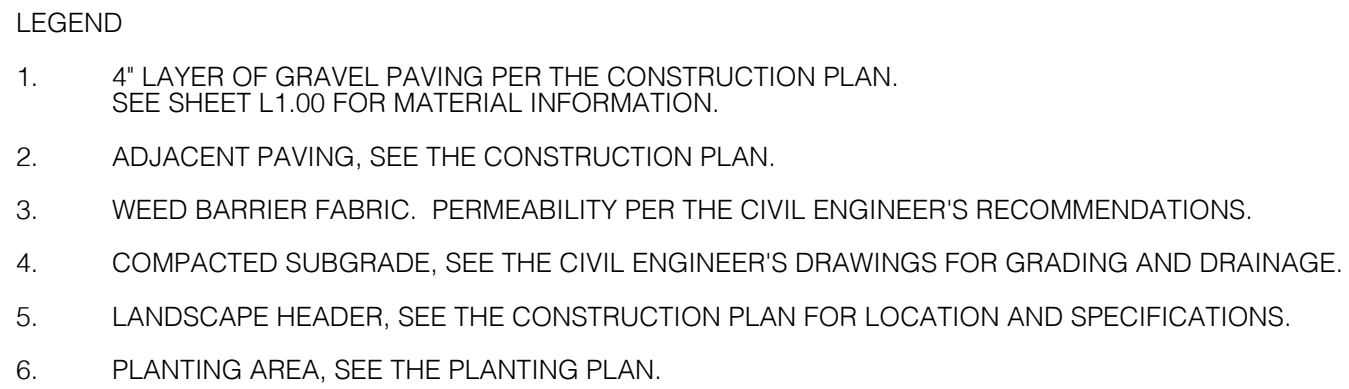
2. PEDESTRIAN CONCETE PAVING



3. STONE PAVING



4. TYPICAL CONCRETE JOINTS



5. GRAVEL PAVING



PROJECT INFORMATION

KE WANG RESIDENCE

18 ARCHIPELAGO WAY
NEWPORT BEACH, CA 92657

PARCEL NO. 47719102

SHEET LEGEND

L0.10	LANDSCAPE TITLE SHEET
L0.20	GENERAL NOTES
L1.00	CONSTRUCTION PLAN
L1.01	STAKING PLAN
L1.02	CONSTRUCTION DETAILS
L2.00	IRRIGATION PLAN
L2.01	IRRIGATION DETAILS
L2.02	IRRIGATION DETAILS
L3.00	PLANTING PLAN & NOTES
L3.01	PLANTING DETAILS
L4.00	WATER USE INFORMATION
L5.00	LIGHTING PLAN

REFERENCE:
LR.01 CONCEPT PLAN
LR.02 MATERIAL IMAGES

[illegible]

THE DRAWINGS AND THE DESIGNS, ARRANGEMENTS, SPECIFICATIONS, IDEAS AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE UNPUBLISHED WORK OF SODDER STUDIO AND SHALL REMAIN PROPERTY OF SODDER STUDIO. NO PART HEREOF SHALL BE A PART OF THE CONTRACT DOCUMENTS FOR THE STATED PROJECT AND SHALL BE USED ONLY AS SUCH. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISCLOSED, OR DISTRIBUTED, SOLD, PUBLISHED OR OTHERWISE USED IN ANY MANNER FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF SODDER STUDIO. VISUAL CONTACT WITH THE ABOVE DRAWINGS, OR ANY PART THEREOF, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET TITLE

CONSTRUCTION DETAILS

SHEET NO.

L1.02

DATE 10.18.2023

DRAWN BY RD

SHEET 05 OF 14



landscape architecture + planning

www.sodderstudio.com
2405 Venice Blvd. #275
Los Angeles, Ca 90066

RYAN DRNEK, LANDSCAPE ARCHITECT
CALIFORNIA LIC. NO. 5170 EXP. 11/2025
RYANDRNEK@SODDERSTUDIO.COM



PROJECT INFORMATION

KE WANG RESIDENCE

18 ARCHIPELAGO WAY
NEWPORT BEACH, CA 92657

PARCEL NO. 47719102

SHEET LEGEND

0.10	LANDSCAPE TITLE SHEET
0.20	GENERAL NOTES
1.00	CONSTRUCTION PLAN
1.01	STAKING PLAN
1.02	CONSTRUCTION DETAILS
2.00	IRRIGATION PLAN
2.01	IRRIGATION DETAILS
2.02	IRRIGATION DETAILS
3.00	PLANTING PLAN & NOTES
3.01	PLANTING DETAILS
4.00	WATER USE INFORMATION
5.00	LIGHTING PLAN

REFERENCE:
R.01 CONCEPT PLAN
R.02 MATERIAL IMAGES

REVISIONS

No.	Description	Date
1	CONCEPT PLANS	10.10.2023
2	CONSTRUCTION DRAWINGS	10.18.2023

THIS DRAWING AND THE DESIGNS, ARRANGEMENTS, SPECIFICATIONS, IDEAS AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE UNPUBLISHED WORK OF JDDER STUDIO AND SHALL REMAIN PROPERTY OF JDDER STUDIO IN PERPETUITY. THIS DRAWING IS PART OF A CONTRACT AND SHALL BE USED ONLY AS SUCH. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED OR OTHERWISE USED IN ANY MANNER FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT AND APPROVAL OF JDDER STUDIO. ANY FURTHER VISUAL CONTACT WITH THE ABOVE DRAWING OR ANY PART THEREOF, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET TITLE

IRRIGATION PLAN

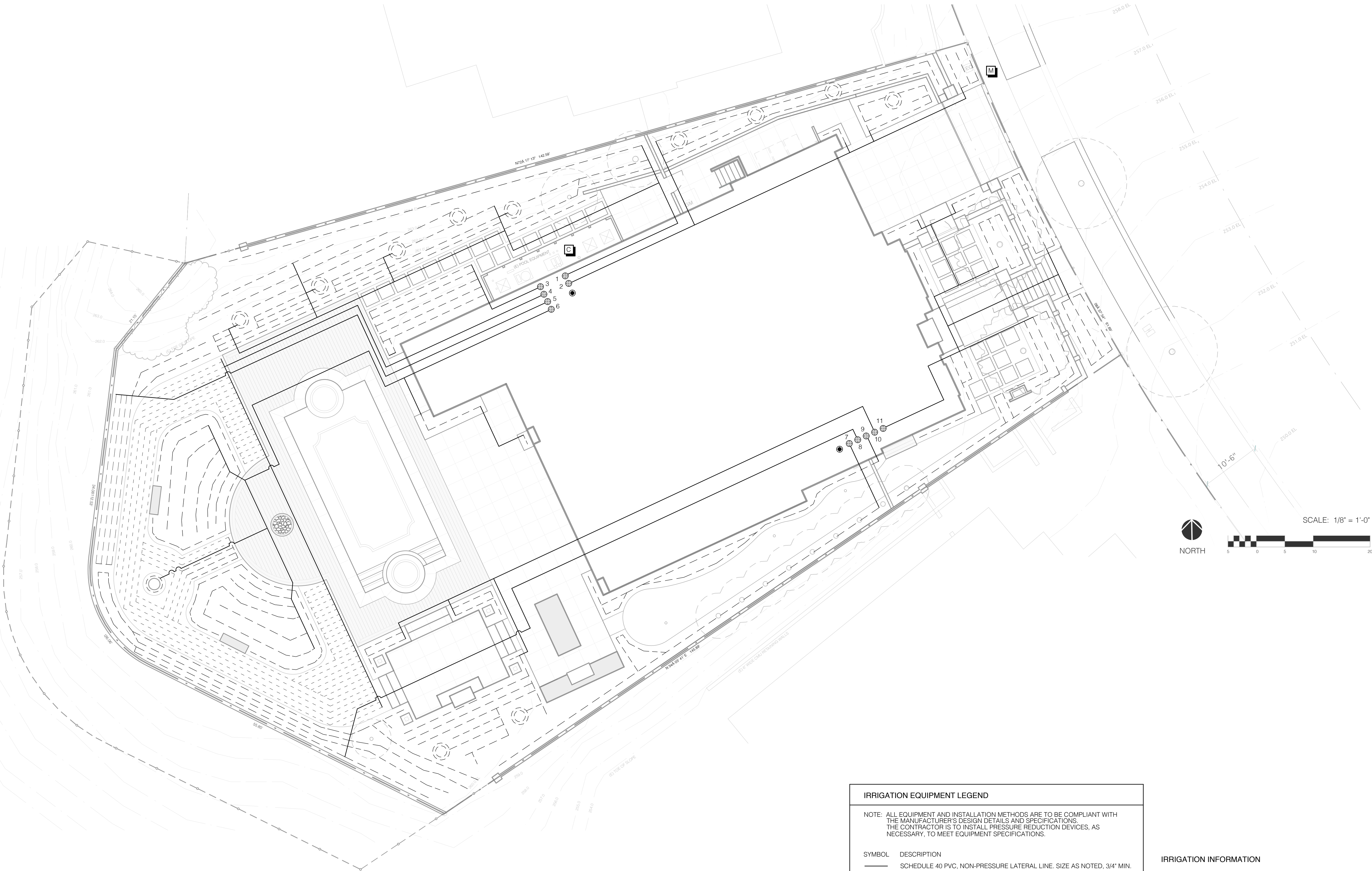
SHEET NO.

L2.00

DATE 10.18.2023

DRAWN BY RD

SHEET 06 OF 14



IRRIGATION SCHEDULE

WATERING TIME IS INDICATED IN __ MINUTES AND __X FREQUENCY.

HYDROZONE: MODERATE SHRUBS ESTABLISHMENT PERIOD 30 MIN. 3X WEEK	WATER USE: 0.40 EST. SUMMER 35 MIN. 2X WEEK	EST. WINTER 30 MIN. 1X WEEK
HYDROZONE: MODERATE TURF ESTABLISHMENT PERIOD 20 MIN. 4X WEEK	WATER USE: 0.60 EST. SUMMER 20 MIN. 2X WEEK	EST. WINTER 15 MIN. 1X WEEK

NOTE: THE LANDSCAPE CONTRACTOR IS TO OBSERVE THE PLANT, SOIL AND WEATHER CONDITIONS PRIOR TO ESTABLISHING AN IRRIGATION WATERING SCHEDULE. THE CONTRACTOR IS TO ADJUST WATERING TIMES AS NEEDED TO MAINTAIN HEALTHY TREES, SHRUBS AND GROUNDCOVERS.

VALVE LEGEND

NO.	DESCRIPTION	TYPE	AREA	WATER USE	HYDROZONE
01	NORTH BACK YARD	DRIP	1,072 S.F.	0.40	MODERATE
02	NORTH FRONT YARD	DRIP	559 S.F.	0.40	MODERATE
03	NORTH SIDE BACK	DRIP	171 S.F.	0.40	MODERATE
04	BACK TURF	DRIP	870 S.F.	0.60	MODERATE
05	NORTH WEST SHRUBS	DRIP	745 S.F.	0.40	MODERATE
06	BACK SHRUBS WEST	DRIP	650 S.F.	0.40	MODERATE
07	SOUTH SIDE YARD	DRIP	280 S.F.	0.40	MODERATE
08	BACK SHRUBS WEST	DRIP	422 S.F.	0.40	MODERATE
09	SOUTH SIDE SHRUBS	DRIP	172 S.F.	0.40	MODERATE
10	FRONT SHRUBS	DRIP	865 S.F.	0.40	MODERATE
11	FRONT SOUTH SIDE	DRIP	593 S.F.	0.40	MODERATE

HYDROZONE SUMMARY

USE	HYROZONE & VALVES	TYPE	AREA	% TOTAL
0.40	MODERATE SHRUBS No. 1-3, 5-11	DRIP	4,329 S.F.	83.2%
0.60	MODERATE GRASS No. 4	DRIP	870 S.F.	16.7%
TOTAL IRRIGATED AREA:		5,199 S.F.		

IRRIGATION EQUIPMENT LEGEND

NOTE: ALL EQUIPMENT AND INSTALLATION METHODS ARE TO BE COMPLIANT WITH THE MANUFACTURER'S DESIGN DETAILS AND SPECIFICATIONS. THE CONTRACTOR IS TO INSTALL PRESSURE REDUCTION DEVICES, AS NECESSARY, TO MEET EQUIPMENT SPECIFICATIONS.

SYMBOL	DESCRIPTION
	SCHEDULE 40 PVC, NON-PRESSURE LATERAL LINE. SIZE AS NOTED, 3/4" MIN.
	3" SCHEDULE 40 PVC, LATERAL LINE SLEEVE
	1 1/2" CLASS 315 MAINLINE
	'RAINBIRD' LOW FLOW ANTI-SIPHON VALVE 'XACZ-075-PRF'
	'RAINBIRD' 3/4" HOSE BIB
	EXISTING WATER METER, OWNER TO VERIFY PRESSURE AND SUPPLY. EXISTING MAINLINE CONNECTION TO RESIDENCE TO REMAIN.
	'RAIN BIRD' ESP-LXM2E - 12 STATION SMART CONTROLLER, WALL MOUNT IN WEATHER PROOF BOX. CONTRACTOR IS RESPONSIBLE FOR 120V POWER SUPPLY. INSTALL PER RAINBIRD RECOMMENDATIONS WITH RAIN SENSOR LOCATED ON ROOF.
DRIIP IRRIGATION - ALL EQUIPMENT SPECIFIED FOR 30 PSI MINIMUM.	
	'RAINBIRD' DRIPLINE - XFS - 06 - 12 12" O.C. 0.6 GPH
	'RAINBIRD' XFD TUBING WITH XB-10PC DRIIP EMITTERS AT EACH ROOTBALL. 0.5 GPH

IRRIGATION INFORMATION

IRRIGATION NOTES	SHEET L2.01
IRRIGATION DETAILS	SHEET L2.01 - L2.02
HYDROZONE PLAN	SHEET L4.00
WATER USE CALCULATIONS	SHEET L4.00

WATER SUPPLY INFORMATION

SEE THE ARCHITECT'S DRAWINGS FOR INFORMATION

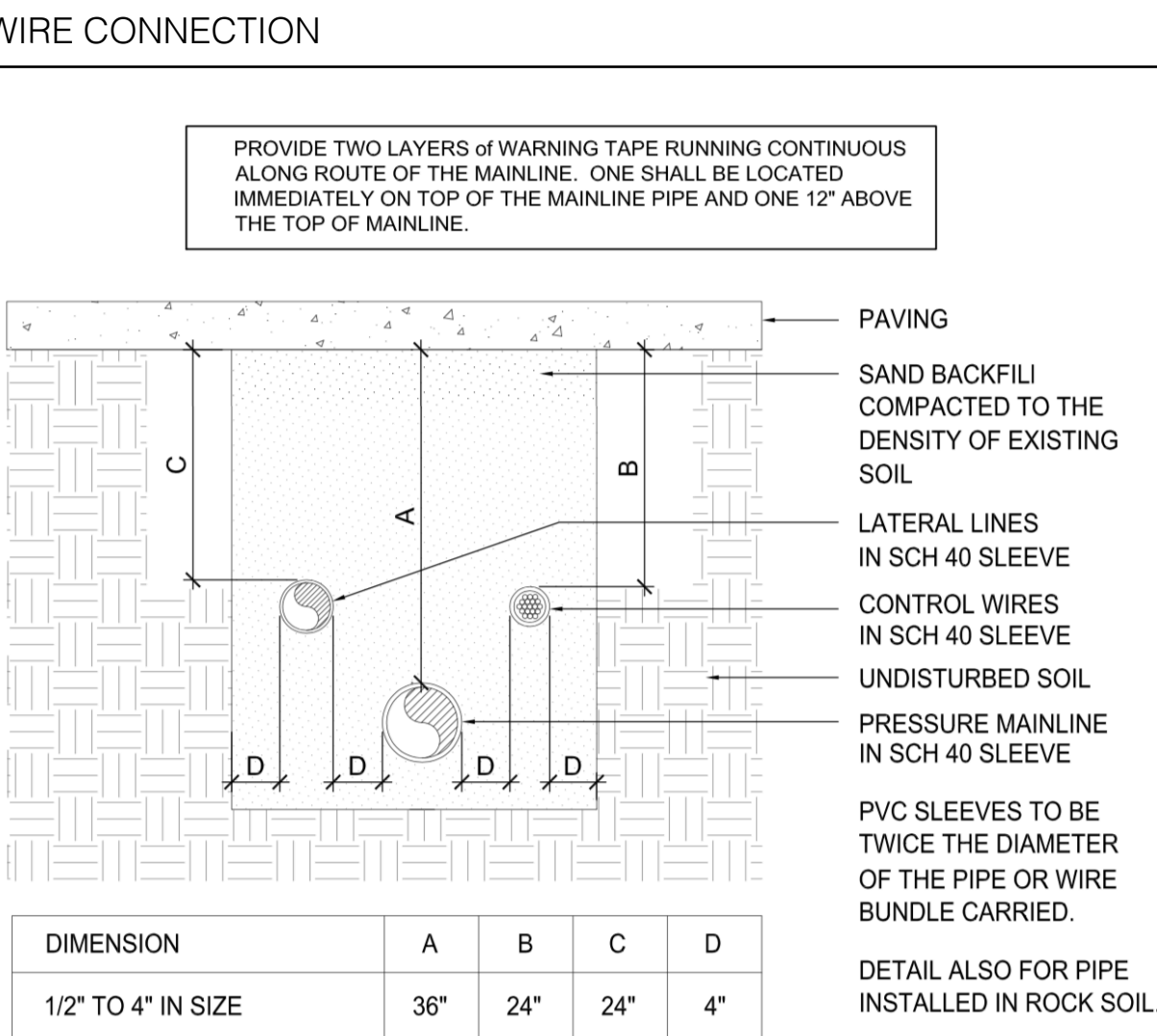
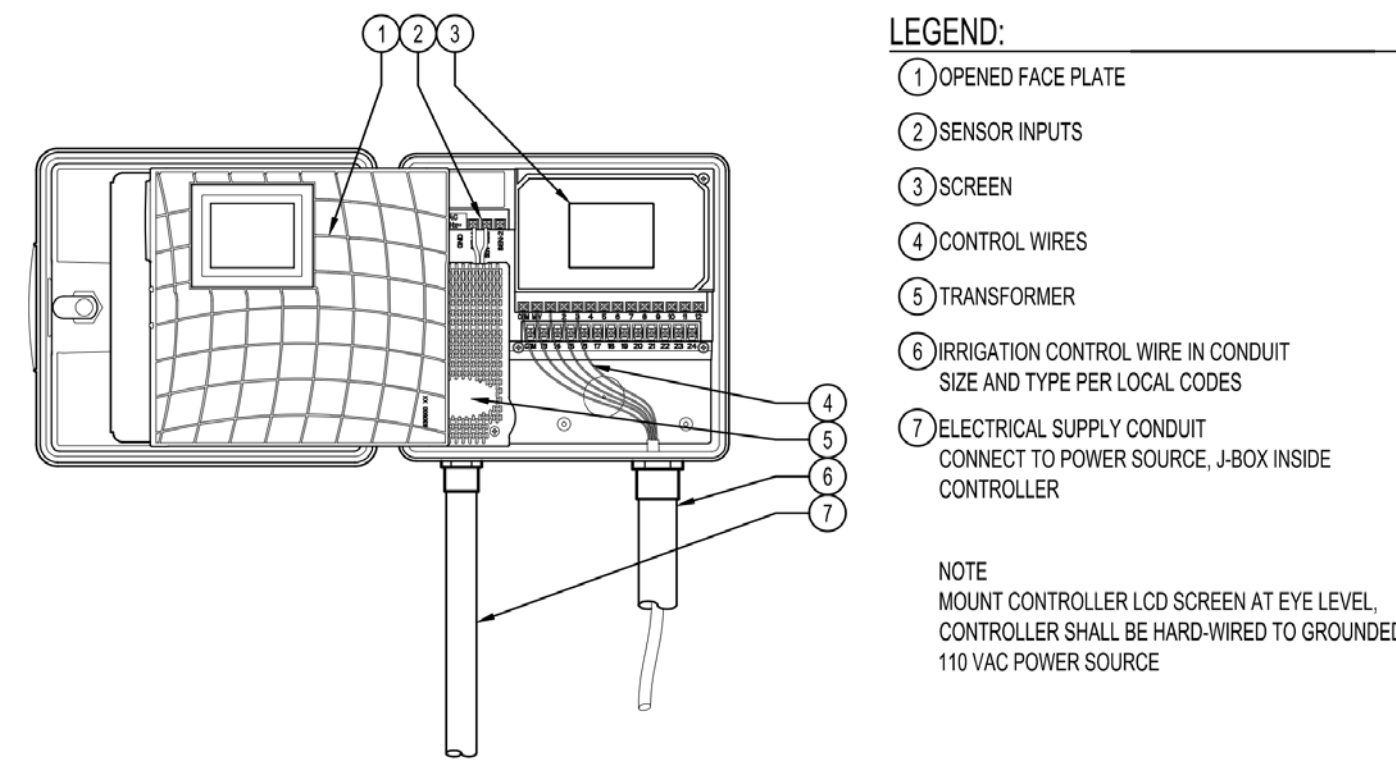
STATEMENT OF COMPLIANCE

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

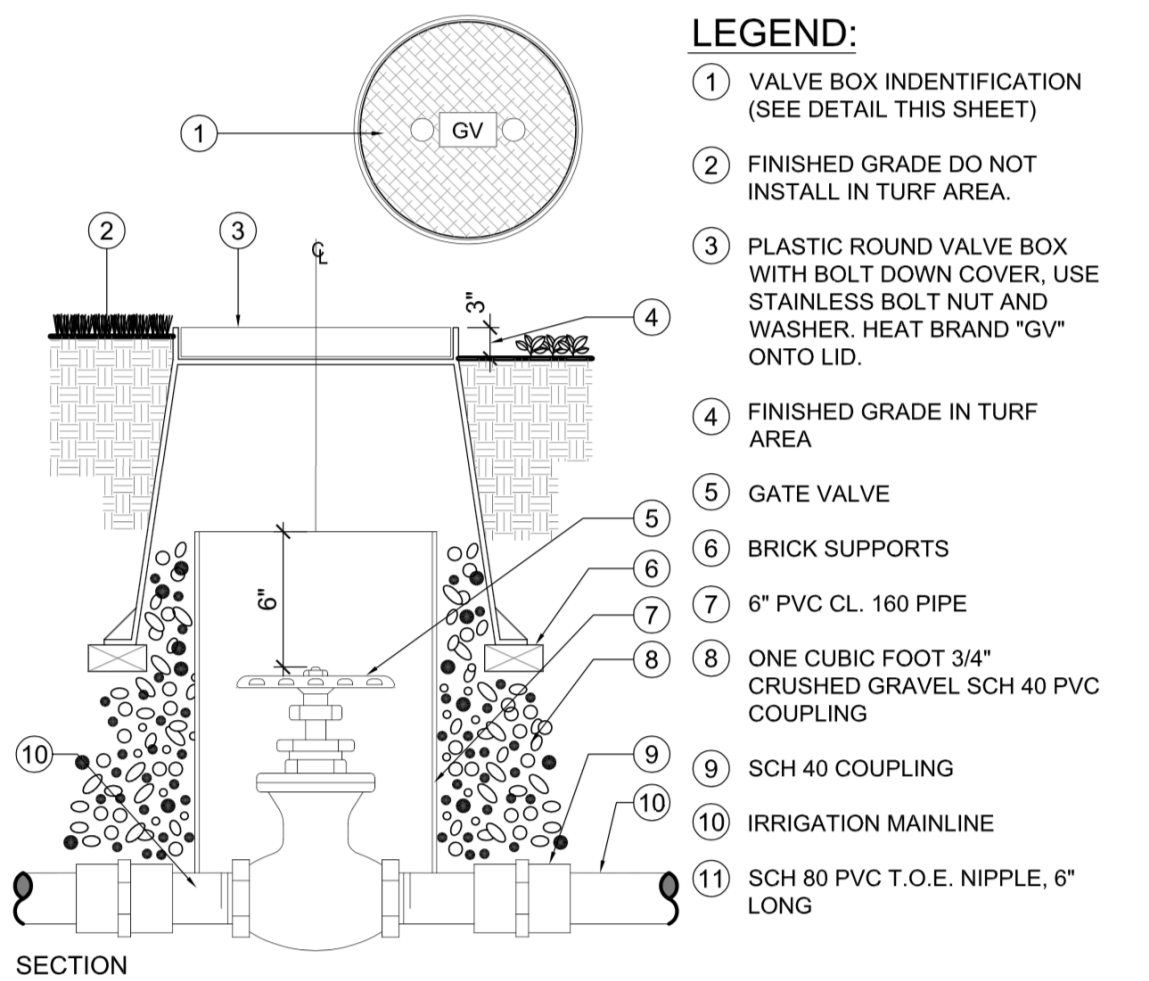
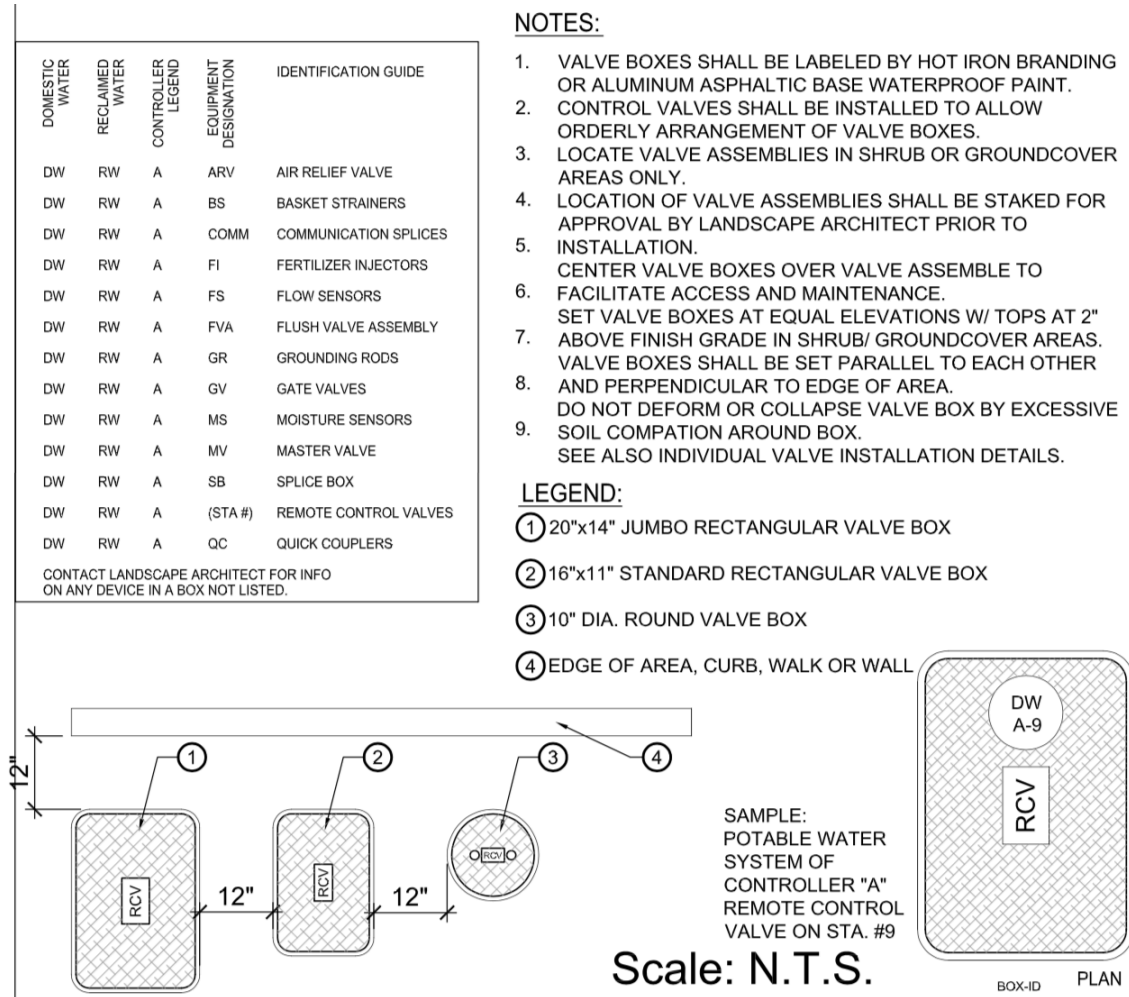
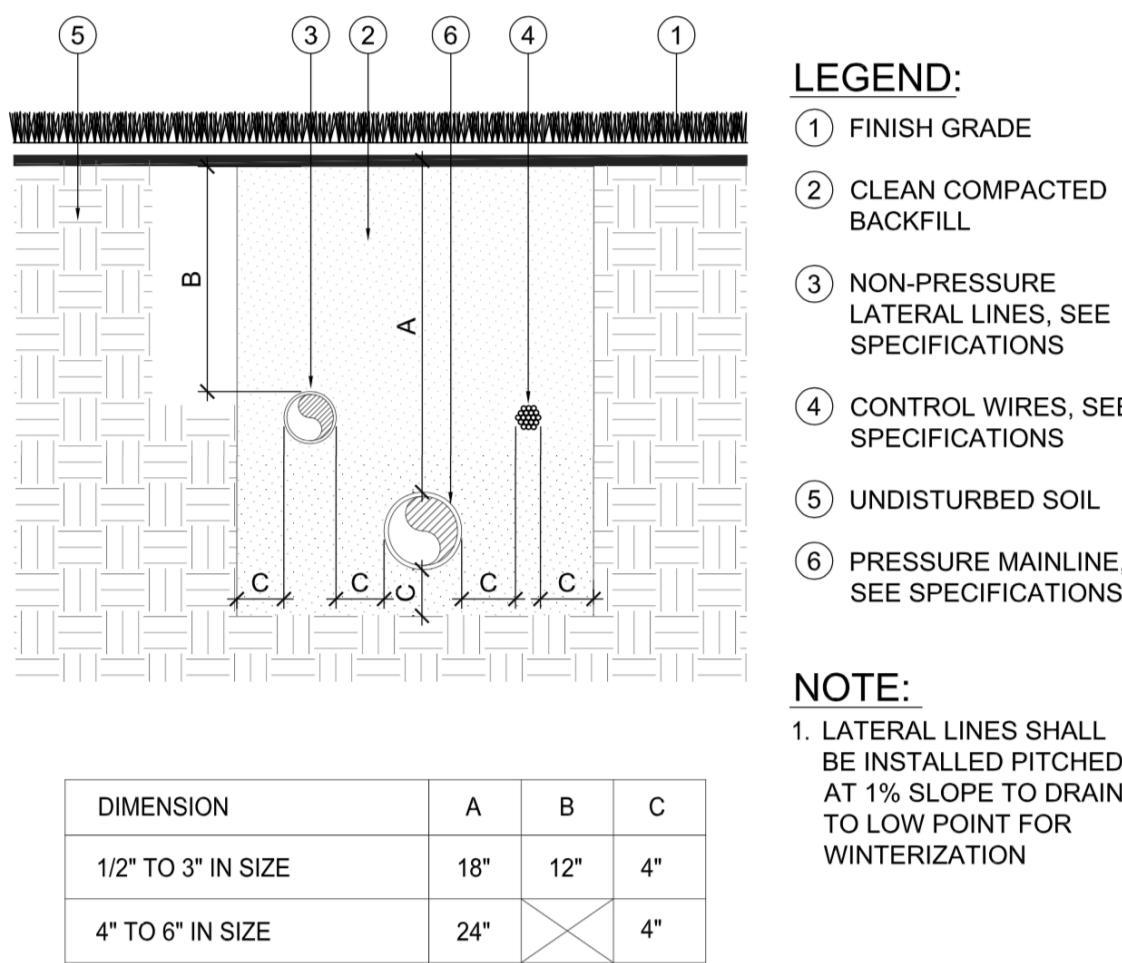

SIGNATURE

10-18-2023
DATE

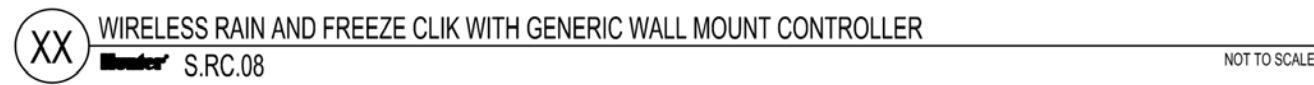
21. FOR THE PURPOSE OF LEGIBILITY, SOME IRRIGATION VALVES AND LINES ARE SHOWN IN PAVED AREAS. ALL VALVES ARE TO BE LOCATED WITHIN PLANTED AREAS AND, WHEREVER POSSIBLE, LINES ARE TO BE ROUTED INSIDE (WITHIN 6" OF) THE EDGE OF PLANTED AREAS.
22. THIS IRRIGATION DESIGN PLAN IS DIAGRAMMATIC, AND THE LAYOUT MAY NOT BE PRECISE. THE CONTRACTOR IS RESPONSIBLE FOR MINOR CHANGES IN HEAD PLACEMENT, AND SPRINKLER ARC AND DISTANCE ADJUSTMENTS, TO MINIMIZE OVERSPRAY AND PROVIDE 100% COVERAGE IN ALL PLANTED AREAS. NOTE THAT THIS MAY INVOLVE ADJUSTING OR CHANGING SPRINKLER NOZZLES, INSTALLING PRESSURE COMPENSATING SCREENS ON SPRAY HEADS, ADJUSTING THE REMOTE CONTROL VALVE FLOW CONTROL, CHANGING SPRINKLER BODIES, ETC., AS NECESSARY.
23. REVIEW THE PLANTING PLANS PRIOR TO IRRIGATION SYSTEM TRENCHING OR HEAD INSTALLATION TO AVOID A PREFERENCE WITH PLANTING PATTERNS. TREES AND SHRUBS MAY BE PLANTED IN RESTRICTED AREAS, AND OFTEN WITH EQUAL SPACING AND/OR PRECISE ALIGNMENT. THESE PLANTING PATTERNS ARE TO BE CONSIDERED IN ESTABLISHING THE IRRIGATION LAYOUT.
24. AREAS WHERE NEW IRRIGATION SYSTEMS ARE TO BE INSTALLED ARE TO BE REVIEWED AND VERIFIED BY THE PROJECT MANAGER AND LANDSCAPE ARCHITECT FOR ACCURACY OF SIZE AND CONFIGURATION. IF DISCREPANCIES ARE FOUND, NOTIFY THE LANDSCAPE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
25. VERIFY THAT ALL IRRIGATION ASSEMBLIES WILL CONFORM WITH THE SITE-WORK AND PLANTER CONDITIONS PRIOR TO ORDERING ANY PRE-ASSEMBLED EQUIPMENT FROM THE MANUFACTURER. THE INSTALLATION MAY BE MODIFIED IF NECESSARY, WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT, TO AVOID OBSTACLES, CROWDED SITUATIONS, AND SHALLOW PLANT PIT DEPTHS.
26. IRRIGATION SYSTEMS SHALL BE DESIGNED AND INSTALLED TO AVOID OVERSPRAY AND RUNOFF. VALVES SHALL BE SEPARATED FOR INDIVIDUAL HYDRO-ZONES BASED ON PLANT WATER NEEDS AND SUN OR SHADE REQUIREMENTS.
27. WATER BUDGET CALCULATIONS (SECTION 15.54.030.J. ABOVE) SHALL BE SHOWN ON THE IRRIGATION PLANS.
28. AN AUTOMATIC IRRIGATION SYSTEM IS REQUIRED AND SHALL INCLUDE A WEATHER-BASED IRRIGATION CONTROLLER, INCLUDING A RAIN SHUT-OFF SENSOR.
29. AREAS LESS THAN EIGHT FEET WIDE SHALL BE IRRIGATED WITH APPROPRIATELY SELECTED EQUIPMENT THAT PROVIDES THE PROPER AMOUNT OF WATER COVERAGE WITHOUT CAUSING OVERSPRAY ONTO ADJACENT SURFACES.
30. ALL SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH VALVE AND CIRCUIT. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO INCLUDE OPTIMUM DISTRIBUTION UNIFORMITY, HEAD TO HEAD SPACING, AND SETBACKS FROM WALKWAYS AND PAVEMENT.
31. ALL IRRIGATION SYSTEMS SHALL PROVIDE CHECK VALVES AT THE LOW END OF THE IRRIGATION LINES TO PREVENT UNWANTED DRAINING OF IRRIGATION LINES.
32. PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
33. CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
34. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
35. CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, THE SIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
36. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.



SLEEVE INSTALLATION



BALL VALVE



PROJECT INFORMATION

KE WANG RESIDENCE

18 ARCHIPELAGO WAY
NEWPORT BEACH, CA 92657
PARCEL NO. 47719102

PARCEL NO. 47719102

SHEET LEGEND

L0.10	LANDSCAPE TITLE SHEET
L0.20	GENERAL NOTES
L1.00	CONSTRUCTION PLAN
L1.01	STAKING PLAN
L1.02	CONSTRUCTION DETAILS
L2.00	IRRIGATION PLAN
L2.01	IRRIGATION DETAILS
L2.02	IRRIGATION DETAILS
L3.00	PLANTING PLAN & NOTES
L3.01	PLANTING DETAILS
L4.00	WATER USE INFORMATION
L5.00	LIGHTING PLAN

REFERENCE:
LR.01 CONCEPT PLAN
LR.02 MATERIAL IMAGES

REVISIONS

No.	Description	Date
1	CONCEPT PLANS	10.10.2023
2	CONSTRUCTION DRAWINGS	10.18.2023

THIS DRAWING AND THE DESIGNS, ARRANGEMENTS, DEPICTIONS, IDEAS AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE UNPUBLISHED WORK OF SODDER STUDIO AND SHALL REMAIN PROPERTY OF SODDER STUDIO. NO REPRODUCTION OR USE IS PART OF THE CONTRACT DOCUMENTS FOR THE STATED PROJECT AND SHALL BE USED ONLY AS SUCH. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED OR OTHERWISE USED IN ANYWAY FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SODDER STUDIO. VISUAL CONTACT WITH THE ABOVE DRAWINGS, OR ANY PART THEREOF, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET TITLE

IRRIGATION DETAILS

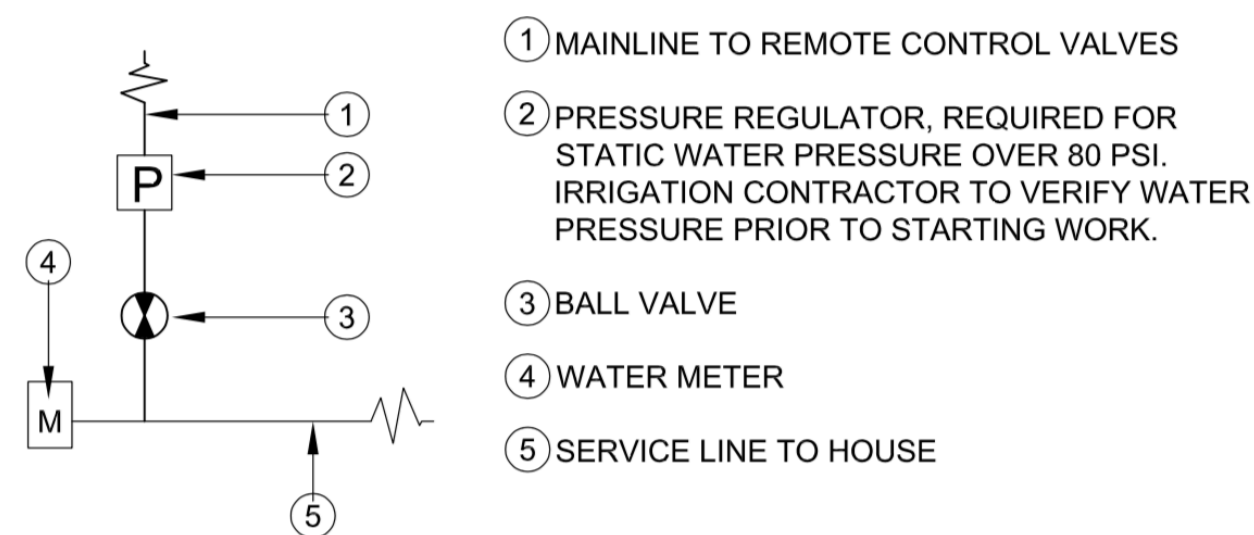
SHEET NO.

L2.01

DATE 10.18.2023

DRAWN BY _____ RD _____

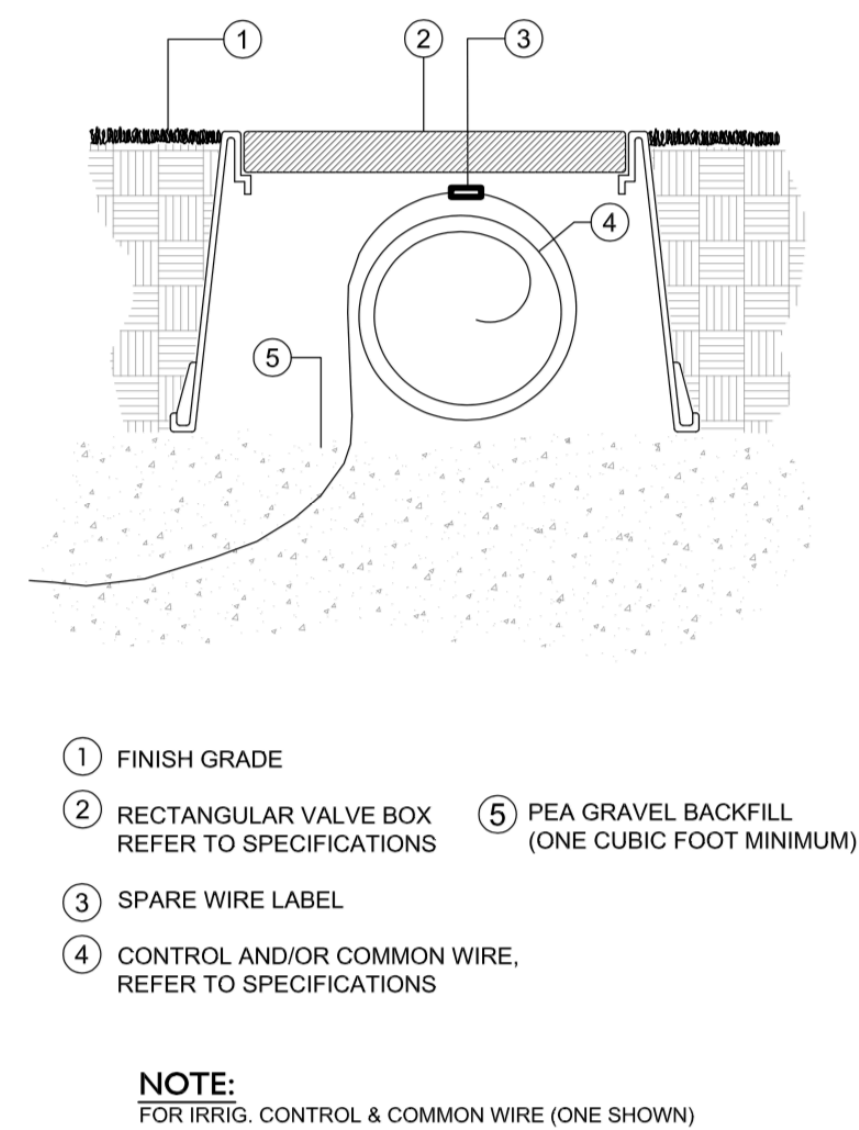
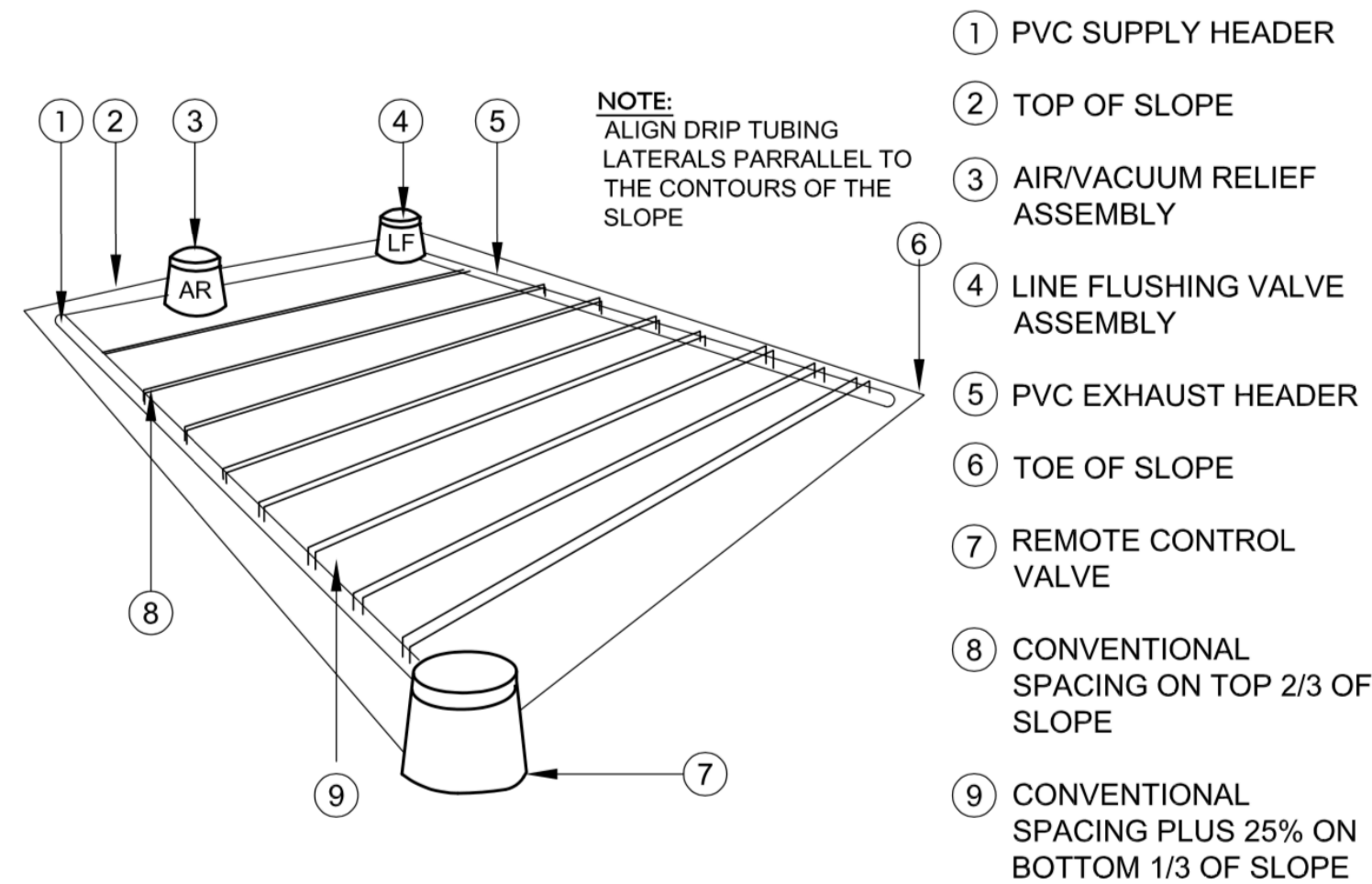
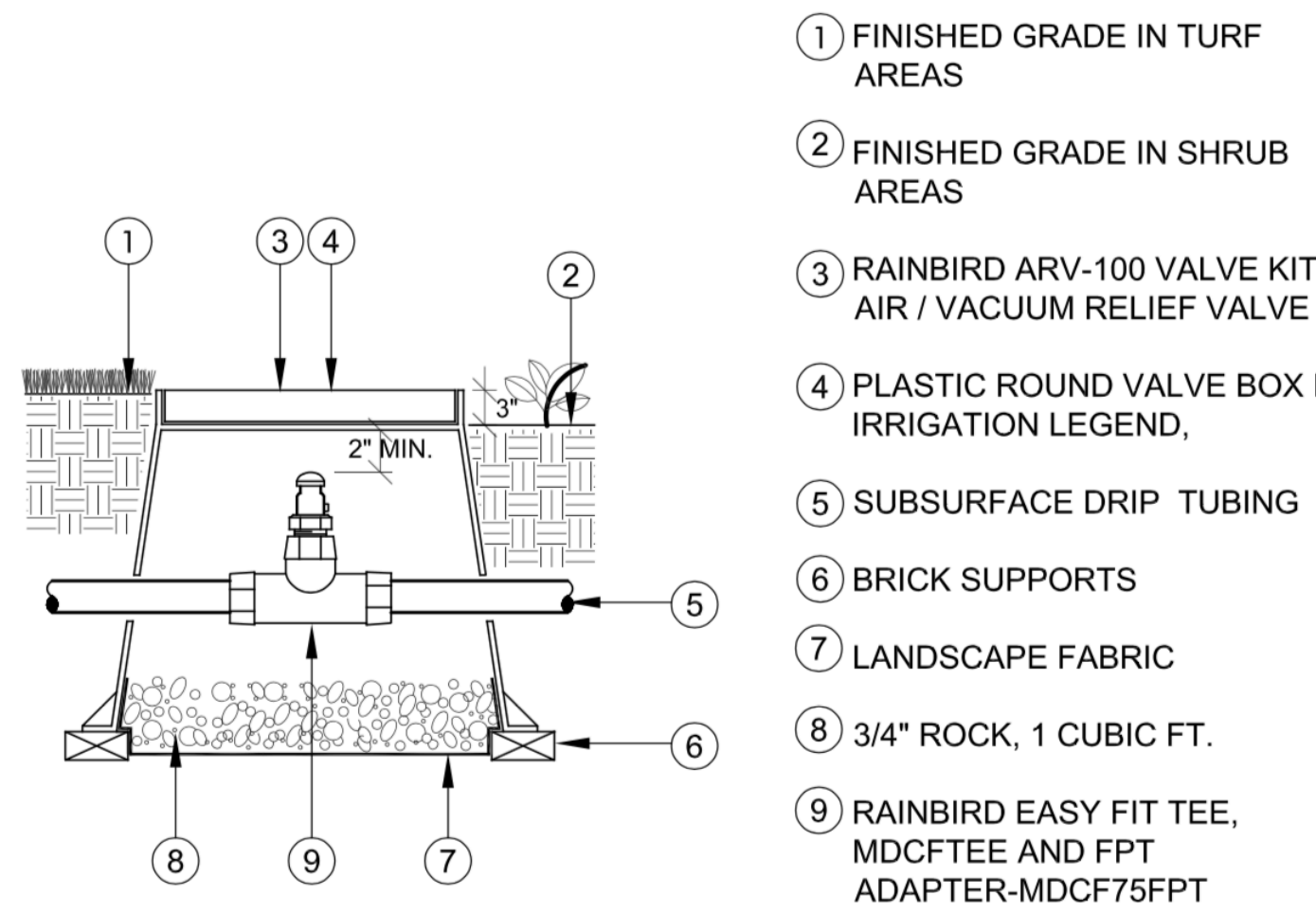
SHEET 07 OF 14



SYMBOL ON PLANS REPRESENTS THE INSTALLATION OF ALL OF THE EQUIPMENT SHOWN ON THE DETAIL ABOVE

NOTES:
WATER METER IS THE EXISTING UNIT. IRRIGATION POINT OF CONNECTION SHALL BE MADE FROM THE SERVICE LINE TO THE HOUSE ISOLATION VALVE SHALL BE INSTALLED ON THE IRRIGATION P.O.C.. IF REQUIRED PRESSURE REGULATOR SHALL BE INSTALLED DOWNSTREAM OF BALL VALVE, IF REQUIRED IRRIGATION MAINLINE SHALL BE ROUTED TO REMOTE CONTROL VALVES.

Scale: N.T.S.

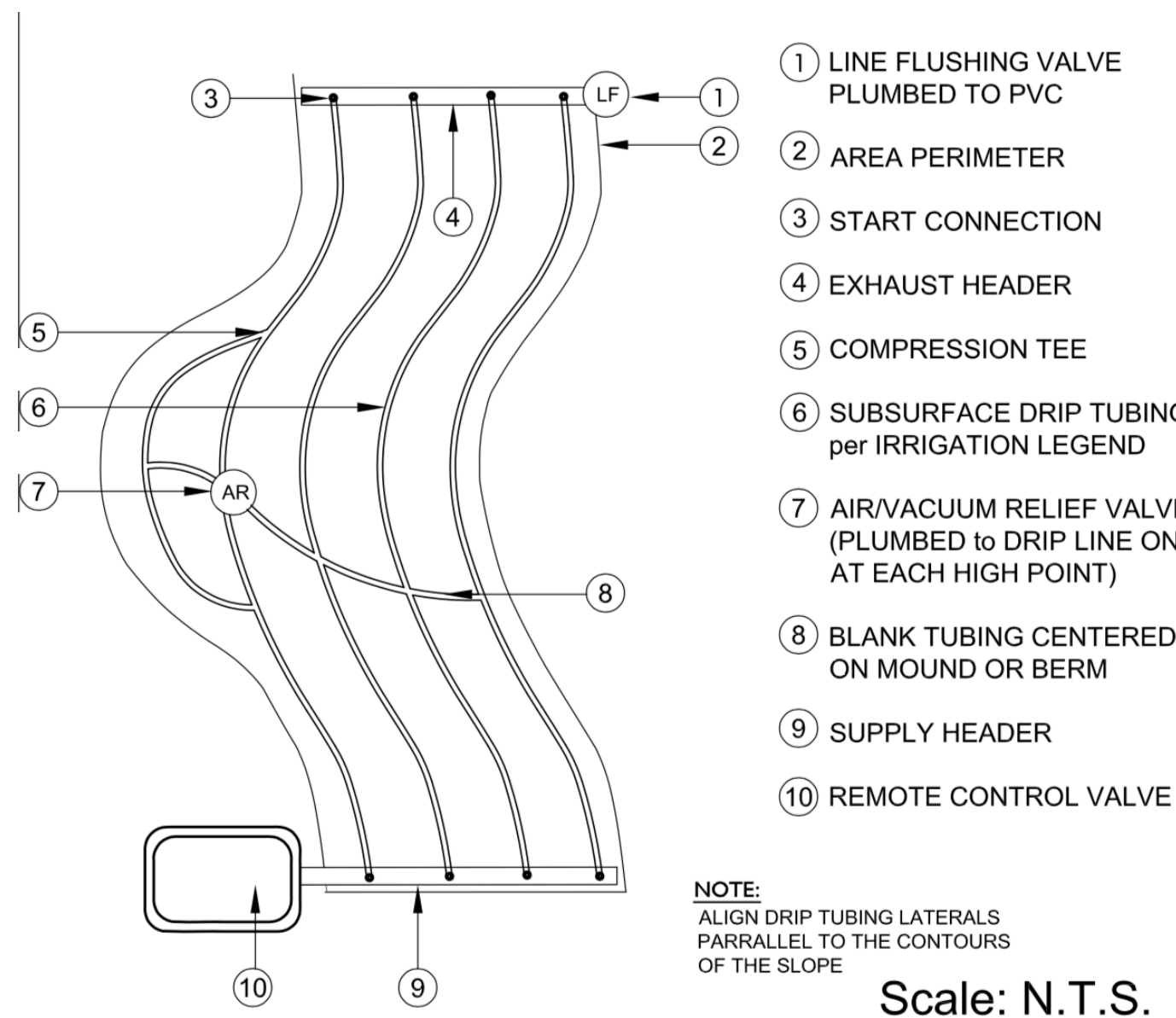


PROJECT INFORMATION

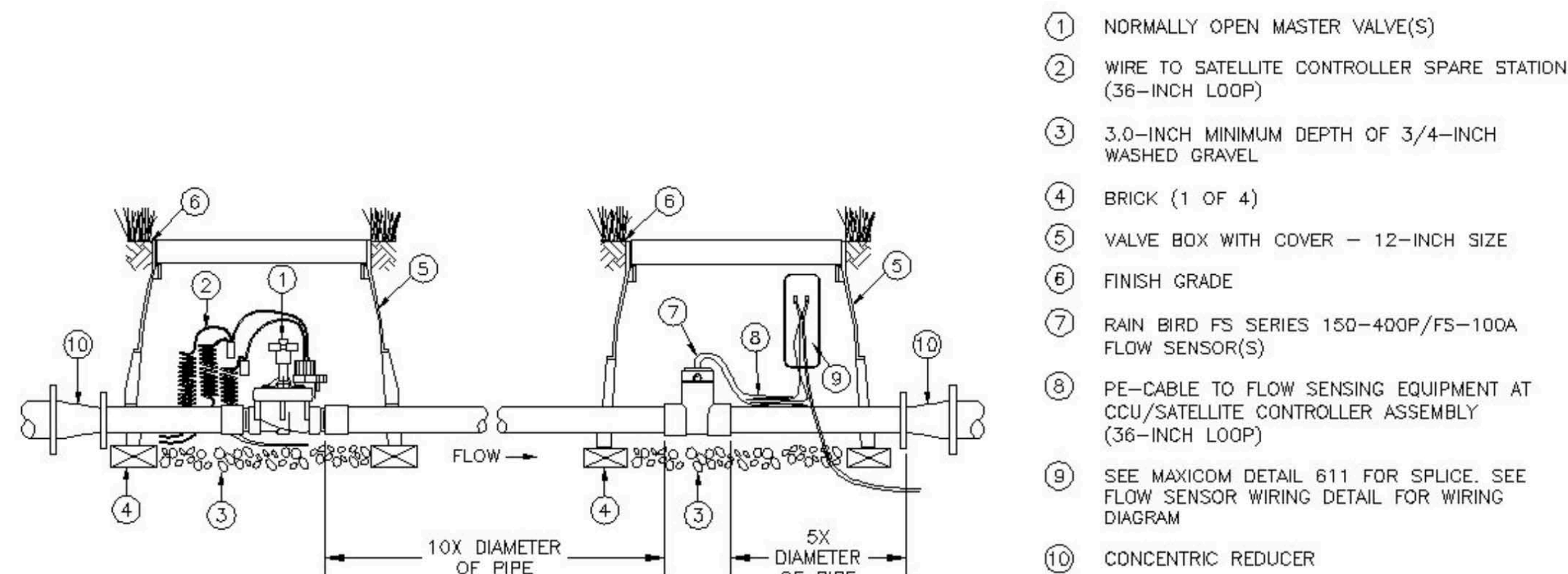
KE WANG RESIDENCE

18 ARCHIPELAGO WAY
NEWPORT BEACH, CA 92657
PARCEL NO. 47719102

PARCEL NO. 47719102



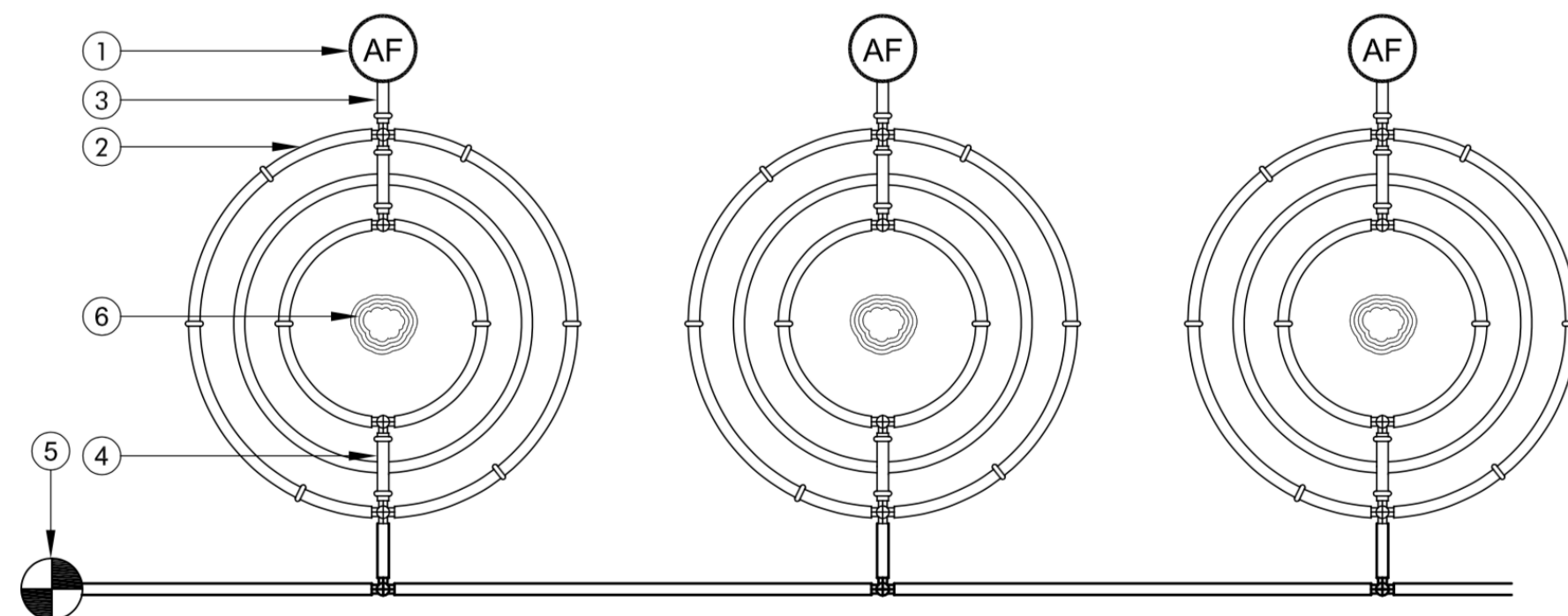
Scale: N.T.S.



MAXICOM MASTER VALVE (NORMALLY OPEN)
AND TEE MOUNTED FLOW SENSOR

N.T.S.

1-15-0

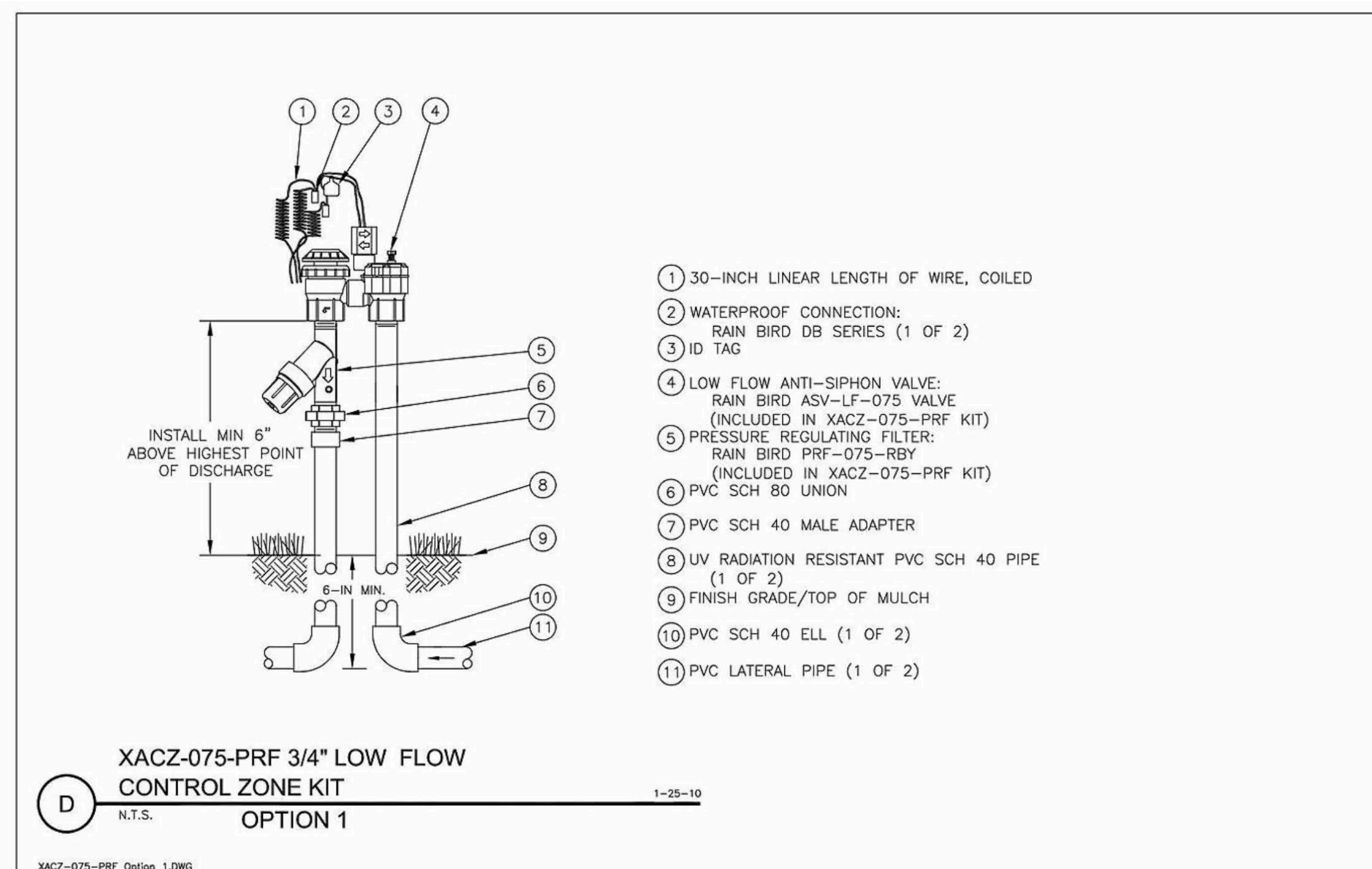


- ① AUTOMATIC LINE FLUSHING VALVE
- ② FLOW, DRIPPER SPACING, LINE SPACING
PER MANUFACTURER'S INSTALLATION
GUIDELINES
- ③ EXHAUST HEADER
- ④ 17mm BLANK TUBING
- ⑤ REMOTE CONTROL VALVE, FILTER SEE
PLAN
- ⑥ TREE/PALM TRUNK - LOCATIONS PER
PLANTING PLAN.

NOTES:

1. USE SCH. 40 PVC PIPE TO CONNECT TRIPLE RINGS AND SIZE PVC APPROPRIATELY.
2. INSTALL DRIPPERLINE RING IRRIGATION on SEPARATE REMOTE CONTROL VALVE.

DRIP LINE RINGS AT TREES



ANTI-SIPHON IRRIGATION VALVE

SHEET LEGEND

- L0.10 LANDSCAPE TITLE SHEET
- L0.20 GENERAL NOTES
- L1.00 CONSTRUCTION PLAN
- L1.01 STAKING PLAN
- L1.02 CONSTRUCTION DETAILS
- L2.00 IRRIGATION PLAN
- L2.01 IRRIGATION DETAILS
- L2.02 IRRIGATION DETAILS
- L3.00 PLANTING PLAN & NOTES
- L3.01 PLANTING DETAILS
- L4.00 WATER USE INFORMATION
- L5.00 LIGHTING PLAN

REFERENCE:
LR.01 CONCEPT PLAN
LR.02 MATERIAL IMAGES

[illegible]

THIS DRAWING AND THE DESIGNS, ARRANGEMENTS, DESCRIPTIONS, IDEAS AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE UNPUBLISHED WORK OF SODDER STUDIO AND SHALL REMAIN PROPERTY OF SODDER STUDIO IN PERPETUITY. THIS DRAWING IS PART OF THE CONTRACT DOCUMENTS FOR THE STATED PROJECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED OR OTHERWISE USED IN ANYWAY FOR ANY OTHER PURPOSE WITHOUT THE ADVANCED EXPRESS WRITTEN CONSENT OF SODDER STUDIO. ANY SUCH REPRODUCTION, DISSEMINATION OR ANY PART THEREOF, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET TITLE

IRRIGATION DETAILS

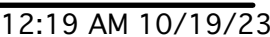
SHEET NO.

L2.02

DATE 10/18/2023

DRAWN BY _____ RD _____

SHEET 08 OF 14





KE WANG RESIDENCE

18 ARCHIPELAGO WAY
NEWPORT BEACH, CA 92657
PARCEL NO. 47719T02

PARCEL NO. 47719102

SHEET LEGEND

- | | |
|-------|-----------------------|
| L0.10 | LANDSCAPE TITLE SHEET |
| L0.20 | GENERAL NOTES |
| L1.00 | CONSTRUCTION PLAN |
| L1.01 | STAKING PLAN |
| L1.02 | CONSTRUCTION DETAILS |
| L2.00 | IRRIGATION PLAN |
| L2.01 | IRRIGATION DETAILS |
| L2.02 | IRRIGATION DETAILS |
| L3.00 | PLANTING PLAN & NOTES |
| L3.01 | PLANTING DETAILS |
| L4.00 | WATER USE INFORMATION |
| L5.00 | LIGHTING PLAN |

REFERENCE:

- LR.02 MATERIAL IMAGES

REVISIONS

[illegible]

THIS DRAWING AND THE DESIGNS, ARRANGEMENTS, DEPICTIONS, IDEAS AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE UNPUBLISHED WORK SODDER STUDIO AND SHALL REMAIN PROPERTY OF SODDER STUDIO IN PERPETUITY. THIS DRAWING IS THE PROPERTY OF SODDER STUDIO AND THE PROJECT AND SHALL BE USED ONLY AS SUCH. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED OR OTHERWISE USED IN ANYWAY FOR ANY OTHER PURPOSE WITHOUT THE ADVANCED EXPRESS WRITTEN CONSENT OF SODDER STUDIO. ANY REPRODUCTION, DISCLOSURE, DISTRIBUTION, SALE, PUBLICATION OR OTHER USES OF ANY PART THEREOF, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SHEET TITLE

LIGHTING PLAN

SHEET NO.

DATE 10.18.2023

DRAWN BY RD

SHEET 12 OF 14



LIGHTING LEGEND

SYMBOL	DESCRIPTION				
	'FXL' LED LANDSCAPE PATHLIGHT	MODEL #FXL 'M'-PJ			
M-PJ Path Light SPECIFICATIONS					
	Lamp	1LED	3LED	6LED	ZDC
	Total Lumens*	63	151	286	185
	Input Voltage	10 to 15V	10 to 15V	10 to 15V	11 to 15V
	Input Power (W)	2.0	4.2	8.2	9.1
	Vin Total	2.4	4.5	9.7	11.0
	Lumens per Watt (Efficiency)	32	36	28	20
	CRF (Ra)	80+	80+	80+	80+
	Max Candela	25	62	131	88
	Dimming	PWM, Phase	PWM, Phase	PWM, Phase	—
	RGBW Available	No	No	No	Yes
	Laser Compatibility	—	—	—	—
	Default	Zoning	Zoning	Zoning	—
ZDC Option		Zoning/Dimming	Zoning/Dimming	Zoning/Dimming	—
ZDC Option		—	—	—	Zoning/Dimming/Color
Minimum Rated Life (L80/B10)		50,000 Hrs	50,000 Hrs	50,000 Hrs	50,000 Hrs

SYMBOL	DESCRIPTION
--------	-------------



'FXL LED LANDSCAPE UPLIGHT

MODEL #FXL-XA-70

XA-70 Grande Accent Light SPECIFICATIONS

Output	165" x 1"	200W x 1"
Water Column (WC)	120" WC	120" WC
Mount Height	120" WC	120" WC
Water Power (WP)	10.0	10.0
Power Consumption (PC)	10.0	10.0
Efficiency (Common/Max)	50	40
Color Rendering Index (CRI)	84	77
Maximum Ambient Light		
Heat (HT)	1.000	1.0
Power (PT)	1.000	
Water Power (WP)	1.000	1.000
Water Head (WH)	1.000	1.0
Light Compatibility		
LED	Dimming	Dimming
CFL	Dimming/Dimming	Dimming/Dimming
HID	Dimming	Dimming/Dimming
HID Option		Dimming/Dimming/Dimming
Minimum Ambient Light (ML)	10000 Lux	10000 Lux

SYMBOL	DESCRIPTION
--------	-------------

	'X' RECESSED WALL/STEP LIGHT.	MODEL #UN-ZD-1LED-FB
UN LED Wall Light SPECIFICATIONS		
		
Number of LEDs	1	
Hanging Lumens Output Equivalent	10 Watt	
Useful Life (L70)	50,000 hrs. avg.	
Input Voltage	120 to 270	
V/A Total (Use Watt equivalent to size the transformer)	3.4	
Watts Used	2.6	
Lumens per Watt (Efficiency)	5.5	
Max Lumens	13	
CRF (Ra)	80.2	
CCT	3000K	
Warranty (Years)	3	

SYMBOL	DESCRIPTION
--------	-------------


'FXL' SUBMERSIBLE LIGHT

MODEL #LL-ZDC-BS

LL Specialty Light SPECIFICATIONS

Lamp	1LED	3LED	3LED	6LED	9LED	9LED	ZDC
Halgén Lumen Equivalent	10W	20W	20W	35W	50W	50W	
Total Lumens*	100	225	121	445	600	600	140
Input Voltage	10-15V	10-15V	10-15V	10-15V	10-15V	10-15V	11-15V
Input Power (W)	2.0	4.2	4.2	8.2	10.0	9.1	91
VA	2.4	4.5	4.5	9.7	10.7	10.0	11.0
Efficiency (Lumen/Watt)	54	54	54	54	54	54	26
Color Rendering Index (CRI)	84	84	—	84	84	84	81
Center Beam Cardpoint*							
Spot (2°/27°)	400	1000	492	2,700	3,500	3,500	190
Dimming	PWM, Phase**	PWM, Phase**	PWM, Phase**	PWM, Phase**	PWM, Phase**	PWM, Phase**	—
RGBW Available	No	No	No	No	No	No	Yes
Lamp Compatibility							
Default	Zoning	Zoning	—	Zoning	Zoning	—	—
ZD Option	Zoning/ Dimming	Zoning/ Dimming	Zoning/ Dimming	Zoning/ Dimming	Zoning/ Dimming	Zoning/ Dimming	—
ZDC Option	—	—	—	—	—	—	Zoning/ Dimming

SYMBOL	DESCRIPTION
--------	-------------

 'FXL' LUXOR CONTROLLER
MODEL #LUX-300-SS

CONTRACTOR TO VERIFY POWER SOURCE AND
MOUNTING LOCATION WITH THE OWNER PRIOR TO
INSTALLATION.

INSTALL PER THE MANUFACTURER'S SPECIFICATIONS.

^{***}Measured with all four collars turned on at 100%.

NO.	DESCRIPTION
E1	DRIVEWAY APRON.
E2	SEE THE ARCHITECT'S DRAWINGS FOR NEW CURB AND APRON SPECIFICATIONS.
E3	EXISTING WALL WITH NEW STUCCO FINISH.
E4	6'-0" TALL SECURITY FENCE IN COMMUNITY COMMON SPACE. PROTECT-IN-PLACE
E5	CONCRETE CURB AT PROPERTY LINE. PROTECT-IN-PLACE.
E6	STUCCO COLUMN WITH NEW PAINT.
E6	COMMUNITY LANDSCAPE AREA. PROTECT-IN-PLACE

EXISTING TREES		
NO.	NAME	STATUS
T1	OLIVE TREE	PROTECT-IN-PLACE
T2	METROSIDEROS	PROTECT-IN-PLACE
T3	MAGNOLIA	PROTECT-IN-PLACE
T4	CITRUS TREE	PROTECT-IN-PLACE
T5	PARKWAY TREE	PROTECT-IN-PLACE
T6	FICUS	PROTECT-IN-PLACE

THIS PLAN IS CONCEPTUAL IN NATURE.
SEE THE CONSTRUCTION DRAWINGS FOR
UPDATED INFORMATION

NOT FOR CONSTRUCTION



www.sodderstudio.com
12405 Venice Blvd. #275
Los Angeles, Ca 90066

RYAN DRNEK, LANDSCAPE ARCHITECT
CALIFORNIA LIC. NO. 5170 EXP. 11/2025
RYANDRNEK@SODDERSTUDIO.COM



KE WANG RESIDENCE

18 ARCHIPELAGO WAY
NEWPORT BEACH, CA 92657
PARCEL NO. 47719102

L0.10	LANDSCAPE TITLE SHEET
L0.20	GENERAL NOTES
L1.00	CONSTRUCTION PLAN
L1.01	STAKING PLAN
L1.02	CONSTRUCTION DETAILS
L2.00	IRRIGATION PLAN
L2.01	IRRIGATION DETAILS
L2.02	IRRIGATION DETAILS
L3.00	PLANTING PLAN & NOTES
L3.01	PLANTING DETAILS
L4.00	WATER USE INFORMATION
L5.00	LIGHTING PLAN

REFERENCE:
LR.01 CONCEPT PLAN
LR.02 MATERIAL IMAGES

No.	Description	Date
1	CONCEPT PLANS	10.10.2023
2	CONSTRUCTION DRAWINGS	10.18.2023

THIS DRAWING AND THE DESIGNS, ARRANGEMENTS, DEPICTIONS, IDEAS AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE UNPUBLISHED WORK OF SODDER STUDIO AND SHALL REMAIN PROPERTY OF SODDER STUDIO IN PERPETUITY. THIS DRAWING IS PART OF A CONTRACT FOR THE DESIGN OF A PROJECT AND PROJECT AND SHALL BE USED ONLY AS SUCH. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD, PUBLISHED OR OTHERWISE USED IN ANYWAY FOR ANY OTHER PURPOSE WITHOUT THE ADVANCED WRITTEN CONSENT OF SODDER STUDIO. ANY UNLAWFUL OR UNAUTHORIZED REPRODUCTION, DISSEMINATION, OR COMMERCIAL USE OF ANY PART OF THIS DRAWING OR VISUAL CONTACT WITH THE ABOVE DRAWINGS, OR ANY PART THEREOF, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

CONCEPT PLAN

LR.01

DATE 10/18/2023

DRAWN BY _____ RD _____

SHEET 13 OF 14

SYM	NAME	SIZE
OT	FRUITLESS OLIVE TREE Olea e. 'Swan Hill'	48" BOX MULTI-TRUNK
AM	STRAWBERRY TREE Arbutus 'Marina'	48" BOX MULTI-TRUNK SPECIMEN
AS	STRAWBERRY TREE Arbutus 'Marina'	36" BOX STANDARD FORM
C1	SATSUMA TANGERINE	24" BOX
C2	MEYER'S LEMON	24" BOX
C3	BEARSS LIME	24" BOX

SYM	NAME	SIZE
AA	CENTURY PLANT Agave americana	15 GALLON
A	BLUE GLOW AGAVE Agave 'Blue Glow'	5 GALLON
B	JAPANESE BOXWOOD Buxus microphylla	5 GALLON
CS	NUCCIO'S GEM CAMELLIA Camellia s. 'Nuccio's Gem'	15 GALLON
+	CA MEADOW SEDGE Carex praegracilis	1 GALLON

SYM	NAME	SIZE
GV	EVERBLOOMING GARDENIA <i>Gardenia veitchii</i>	15 GALLON
H	CORAL BELLS <i>Heuchera maxima</i>	1 GALLON
I	PACIFIC IRIS <i>Iris douglasiana</i>	1 GALLON
LV	SWEET LAVENDER <i>Lavandula heterophylla</i>	1 GALLON
L	LILY TURF <i>Lilium</i>	1 GALLON

SYM	NAME	SIZE
SS	SILVER SHEEN KOHUHU Pittosporum 'Silver Sheen'	15 GALLON
PG	FERN PINE Podocarpus gracillior	15 GALLON COLUMNAR FORM
RI	ICEBERG ROSE Rosa 'Iceberg'	5 GALLON SHRUB ROSE
R	TRAILING ROSEMARY Rosmarinus prostratus	5 GALLON
TURF GRASS		
	MARATHON	SOD

NO.	DESCRIPTION	NOTES
01	DRIVEWAY PAVING	TRAFFIC LOAD CONCRETE WITH COLOR AND FINISH TO MATCH STONE SLABS
02	STONE PAVING	3' X 3' MARBLE SLABS WITH ANTI-SLIP FINISH
03	STEPS	STEPS WITH STONE FINISH.
04	METAL GATE	5' TALL METAL GATE WITH SELF-CLOSING, SELF-LOCKING HARDWARE DESIGN, MATERIALS AND FINISHES TO BE SELECTED BY THE OWNER.
05	FOUNTAIN	RESTORATION HARDWARE 50" WIDE FOUNTAIN WITH RECIRCULATING PUMP OWNER TO APPROVE FIXTURE AND FINISHES PRIOR TO PURCHASE.
06	LIGHT COLUMN	6' TALL COLUMN WITH STUCCO FINISH AND LIGHT FIXTURE. COLOR AND FINISH TO BE MATCH THE RESIDENCE.
07	CONCRETE PADS	30" X 30" X 4" CONCRETE PAD WITH COLOR AND FINISH TO MATCH STONE SLABS.
08	DECORATIVE GRAVEL	4" LAYER OF 3/8" 'SALT & PEPPER' GRAVEL. SET OVER WEED BARRIER WITH PERMALOC 'CLEANLINE XL' ALUMINUM HEADER.
10	PUTTING GREEN	TIGER TURF 'TRUE PITT' ARTIFICIAL GRASS. HOLE LOCATIONS TO BE DETERMINED
11	STONE TABLE	54" WIDE X 10' LONG, BUILT-IN STONE TABLE. DESIGN PER ARCHITECT.
12	KITCHEN COUNTER	36" DEEP BY 15' LONG, STONE COUNTER WITH 54" WIDE BBQ GRILL. DESIGN PER THE ARCHITECT.
13	DECK	WOOD DECK WITH BORDER. MATERIALS AND FINISH TO BE SELECTED.
14	FIRE BOWL	FIRE BOWL WITH LAVA ROCK, TO BE SELECTED BY THE DESIGNER/OWNER.
15	POOL & SPA	RENOVATED POOL AND SPA. 3" LIMESTONE COPING. PEBBLE TECH FINISH WITH GLASS TILE AT WATERLINE, WATERFALL, STEPS AND POOL BOTTOM.
16	FIREPLACE	RENOVATE EXISTING FIREPLACE.
17	UTILITY AREA	POOL EQUIPMENT AND UTILITY AREA WITH 5' FENCE TO MATCH ENTRY GATES.
18	TRASH AREA	TRASH AREA WITH 4' TALL METAL FENCE PANEL FOR CONCEALMENT.
19	DRIVEWAY GATES	6' TALL METAL GATES WITH MOTOR. DESIGN BY OTHERS.
20	CONCRETE PAVING	INTEGRAL COLOR AND FINISH TO MATCH INTERIOR/EXTERIOR STONE PAVING
21	EXISTING ARBOR	RENOVATE WITH NEW POSTS AND TRELLIS.
22	BENCH SEAT	WOOD BENCH, WITH OPENING FOR IRRIGATION VALVES BENEATH.
23	GARDEN ART	ARTWORK TO BE SELECTED.
24	PLANTER WALL	4' TALL CMU WALL (EXTENSION) WITH STUCCO FINISH TO MATCH EXISTING.
25	GARDEN BENCH	5' LONG STONE BENCH TO BE SELECTED BY THE OWNER/ DESIGNER.

